



## REPORT TO PLANNING COMMITTEE

11 March 2020

<b>Application Reference</b>	DC/19/63633
<b>Application Received</b>	11 <sup>th</sup> October 2019
<b>Application Description</b>	Proposed 4 No. additional fourth floor flats to 5 No. existing blocks with a new pitched roof, two main entrance extensions and lift, new car parking area and accessible pathways. Proposed new pitched roof, new shop fronts, roller shutters, front canopies and re-cladding of existing Lion Farm shops and flats.
<b>Application Address</b>	Coniston, Derwent, Rydal, Ullswater & Windermere Houses, Badsey Road & Lion Farm Shops And Flats, Hartlebury Road, Oldbury
<b>Applicant</b>	Mr Phil Deery, Sandwell MBC, Sandwell Council House, Freeth Street, Oldbury, B69 3DE
<b>Ward</b>	Langley
<b>Contribution towards Vision 2030:</b>	 
<b>Contact Officer</b>	William Stevens 0121 569 4897 <a href="mailto:William_stevens@sandwell.gov.uk">William_stevens@sandwell.gov.uk</a>

### **RECOMMENDATION**

Grant approval subject to:

- i) Materials including colour of the proposed cladding panels,
- ii) Affordable Housing

### **1. BACKGROUND**

- 1.1 This application was originally reported to your Planning Committee because the Council is the applicant and landowner, and the proposal has generated local interest.

1.2 At the last meeting, Members resolved to visit the site.

## **2. SUMMARY OF KEY CONSIDERATIONS**

2.1 The site relates to an existing flatted development. The material planning considerations which are relevant to this application are:

Government (NPPF) and local policy  
Loss of light, outlook and privacy  
Layout and density of building  
Design, appearance and materials  
Access, highway safety, and parking

## **3. THE APPLICATION SITE**

3.1 The application site is split over several blocks of flats in two locations.

3.2 The larger of the two sites relates to five, three-storey, individual blocks of flats on the north-western side of Badsey Road, Oldbury on the Lion Farm Estate. These blocks of flats are known as Windermere House, Coniston House, Rydal house, Derwent House and Ullswater House.

3.3 The second site is contained with the Lion Farm shops themselves, which is within a local centre on the northern side of Hartlebury Road, Oldbury.

## **4. PLANNING HISTORY**

4.2 There is no relevant planning history.

## **5. APPLICATION DETAILS**

5.1 The applicant proposes to erect four additional flats by creating a fourth floor to each of the five existing blocks (Windermere House, Coniston House, Rydal house, Derwent House and Ullswater House), totalling 20 new flats.

5.2 The level roof of the flats would be replaced by a new pitched roof, the façade of the flats would be re-clad, and the two main entrances to each block of flats will be extended, where an internal lift and modified staircase would be fitted.

5.3 Externally, an additional 25 car parking spaces will be provided, and external spaces, including pathways, updated.

- 5.4 With regards to the Lion Farm shops and flats; the applicant proposes a new pitched roof, new shop fronts with roller shutters and front canopies, and the whole building will be re-clad.
- 5.5 This is a Council application, and the properties will be socially rented. However, some of the existing residential units are privately owned.

## **6. PUBLICITY**

- 6.1 The application has been publicised by 374 neighbour notification letters, by site notice and press notice. Out of these, four objections have been received.

### **6.2 Objections**

Objections have been received on the following grounds: -

- (i) The creation of a new flat above the objector's property would affect the right to quiet enjoyment;
- (ii) The objector brought the flat knowing it was a top floor flat in a low-rise development;
- (iii) The planning application was the first time that residents were notified about the scheme; and
- (iv) The front garden to flat 7 Rydal House will be lost.

Immaterial issues have been raised regarding loss of the value of the flats, increase in service charges and the cost and inconvenience of relocation whilst the works are being carried out.

### **6.3 Responses to objections**

- (i) Noise attenuation between flats is covered by Building Regulations;
- (ii) The comments are noted and the concerns of the owner/occupier have been passed onto the applicant;
- (iii) The local planning authority always encourages developers to carry out their own public consultations prior to the submission of a planning application. It seems that whilst this is a Council application, no consultations with residents was carried out prior to the application being received. Again, this has been brought to the attention of the applicant; and

- (iv) The areas outside the front of the flats are communal spaces, and are not for solely enjoy one flat to enjoy.

## 6.4 **Support**

One email of support has been received stating that the properties are currently in a very poor state, and that work is needed to bring the block of flats back to an acceptable standard.

## 7. **STATUTORY CONSULTATION**

### 7.1 **Severn Trent**

No objection subject to their standard conditions being attached to any approval.

### 7.2 **Environmental Health (Air Quality)**

The Environmental Health Team have recommended that electric vehicle charging points should be installed on the newly created car parking spaces. However, these spaces are disconnected from the residents they would serve and the remote location would make them a target for vandalism. Therefore, in this instance I do not consider that the it would be reasonable to condition this requirement.

### 7.3 **Environmental Health (Air Pollution and Noise)**

Conditions have been recommended regarding opening times, odour and noise control of the existing hot food takeaway on the Lion farm shops. However, as this application only relates to the cladding of the premises and not the actual use of the unit, conditions cannot be enforced on historic permissions.

### 7.4 **West Midlands Police**

No objections have been received. The comments received relates to the improvement of security, and these comments have been passed on to the applicant.

### 7.5 **Healthy Urban Development Officer**

Conditions regards electric vehicle charging points have also been recommended. See point 7.2

### 7.6 **Highways** - No objections

### 7.7 **Cadent** - Their standard advice has been sent to the applicant.

## 7.8 Access Alliance

Has requested that the entrance door to the extended new entrances have a doors width of 1.0m. These comments are not planning related but have been passed onto the applicant.

## 7.9 Planning Policy - No objection

## 7.10 Urban Design

Concerns have been raised over the size of the proposed flats. The Council's minimum size of flats for a two-bedroom property is 60sqm, whereas the proposed flats internal space ranges from 55sqm to 60sqm, mirroring those units below. Therefore, I have little concern.

The Council's Urban Design Team are uneasy about the colour of the proposed cladding however final colour details can be conditioned.

Concerns has also been raised over the height of the development in relation to the adjacent two-storey residential units on Badsey Road, Oldbury. In my opinion, the properties are angled from each other which would not cause any significant loss of light, outlook or privacy issues, and furthermore, no objections were received from the occupiers of the nearest properties.

## 8. GOVERNMENT GUIDANCE/NATIONAL PLANNING POLICY

8.1 National Planning Policy Framework promotes sustainable development but states that that local circumstances should be taken into account to reflect the character, needs and opportunities for each area.

## 9. LOCAL PLANNING POLICY

9.1 The following policies of the Council's Local Plan are relevant:-

9.2 HOU1: Delivering sustainable Housing Growth  
HOU2: Housing Density, Type and Accessibility  
HOU3: Delivering Affordable Housing  
ENV3: Design Quality  
SAD EOS9: Urban Design Principles

9.3 With regard to policies HOU1 and HOU2 the site already provides housing but this proposal will provide additional homes to meet future needs.

- 9.4 HOU3 sets out the requirement of 25% affordable housing. This development would provide 100% socially rented homes and can be conditioned accordingly.
- 9.5 ENV3 and SAD EOS9 refers to well designed schemes that provide quality living environments. The proposal is broadly considered to be acceptable in spatial standards and will enhance the tired appearance of the existing flats and shops.

## **10. MATERIAL CONSIDERATIONS**

- 10.1 The material considerations relating to Government policy (NPPF) and proposals with the local plan have been referred to above in Sections 8 and 9. With regard to the other considerations these are highlighted below:

### **10.3 Loss of light, outlook and privacy**

As indicated in 7.10 above the relationship of the existing two-storey residential units on Badsey Road to the proposed development have been considered, but as they are angle away from each other it is considered that existing residents will not be significantly affected.

### **10.4 Design, appearance and materials, layout and density of building**

It is my opinion, that the proposal would enhance the design of the blocks of flats, whilst providing quality new homes.

### **10.5 Access, highway safety, and parking**

The Council's highways Department have raised no issues.

### **10.8 Affordable housing**

The scheme provides 100% Council housing provision and conditions can be imposed to ensure that the affordable housing policy is complied with.

## **11. IMPLICATIONS FOR SANDWELL'S VISION**

- 11.1 The proposal supports Ambitions 7 and 10 of the Sandwell Vision 2030:
- 11.2 Ambition 7 – We now have many new homes to meet a full range of housing needs in attractive neighbourhoods and close to key transport routes.

11.3 Ambition 10 – Sandwell has a national reputation for getting things done, where all local partners are focussed on what really matters in people’s lives and communities.

## **12. CONCLUSIONS AND SUMMARY OF REASONS FOR THE RECOMMENDATIONS**

12.1 It is understood that occupiers of the privately-owned flats may have reservations, as there are significant questions that need to be answered by the applicant in terms of practicalities, but these are not material planning considerations.

12.2 In terms of the development itself, the proposal is of satisfactory design, that enhances the appearance of the blocks of flats (and those of Lion Farm shops), updating them, and providing lifts to the flats, making them more accessible to a wider range of tenants.

12.3 The 20 new properties will be Council owned, and increase much-needed affordable homes within the Borough.

12.4 Conditional grant of planning permission is therefore recommended.

## **13. STRATEGIC RESOURCE IMPLICATIONS**

13.1 When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the council.

## **14. LEGAL AND GOVERNANCE CONSIDERATIONS**

14.1 This application is submitted under the Town and Country Planning Act 1990.

## **15. EQUALITY IMPACT ASSESSMENT**

15.1 There are no equalities issues arising from this proposal and therefore an equality impact assessment has not been carried out.

## **16. DATA PROTECTION IMPACT ASSESSMENT**

16.1 The planning application and accompanying documentation is a public document.

## **17. CRIME AND DISORDER AND RISK ASSESSMENT**

17.1 There are no crime and disorder issues with this application.

## **18. SUSTAINABILITY OF PROPOSALS**

18.1 Refer to the national planning framework (8) and local plan policies (9) and material considerations (10).

## **19. HEALTH AND WELLBEING IMPLICATIONS (INCLUDING SOCIAL VALUE)**

19.1 Refer to the summary of the report (12).

## **20. IMPACT ON ANY COUNCIL MANAGED PROPERTY OR LAND**

20.1 The proposal is on Council owned land.

## **21. APPENDICES:**

Site Plan

Context Plan

00 ZZ AP(04) 01 S2

00 XX L-P(9-) 01 S2

00 ZZ AP(09) 01 S2

00 ZZ AP(06) 11 S2

00 ZZ AP(05) 12 S2

00 ZZ AP (04) 11 S2

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SH ZZ AP(05) 01 S2

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SH ZZ AP(05) 03 S2

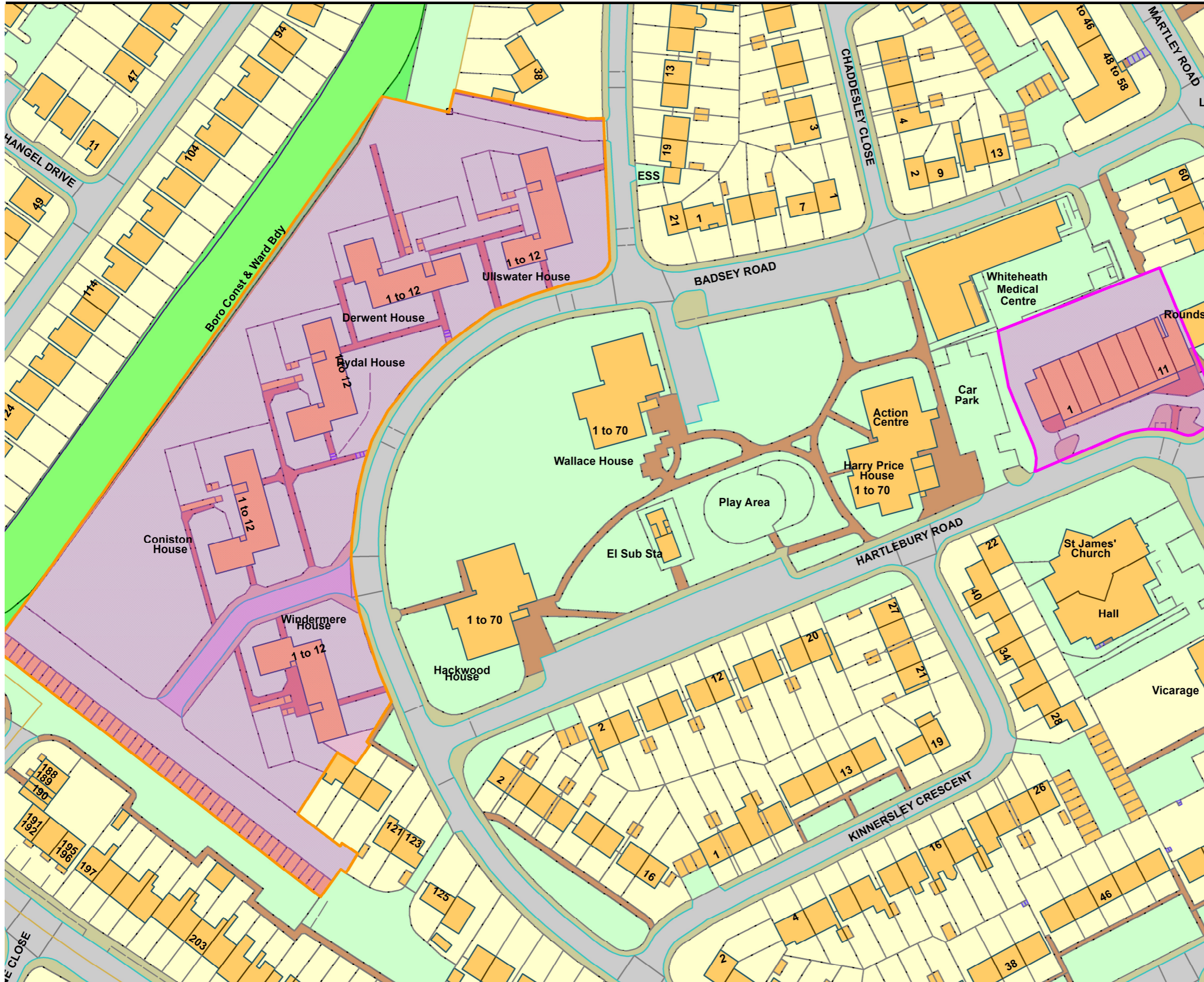
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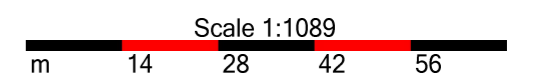
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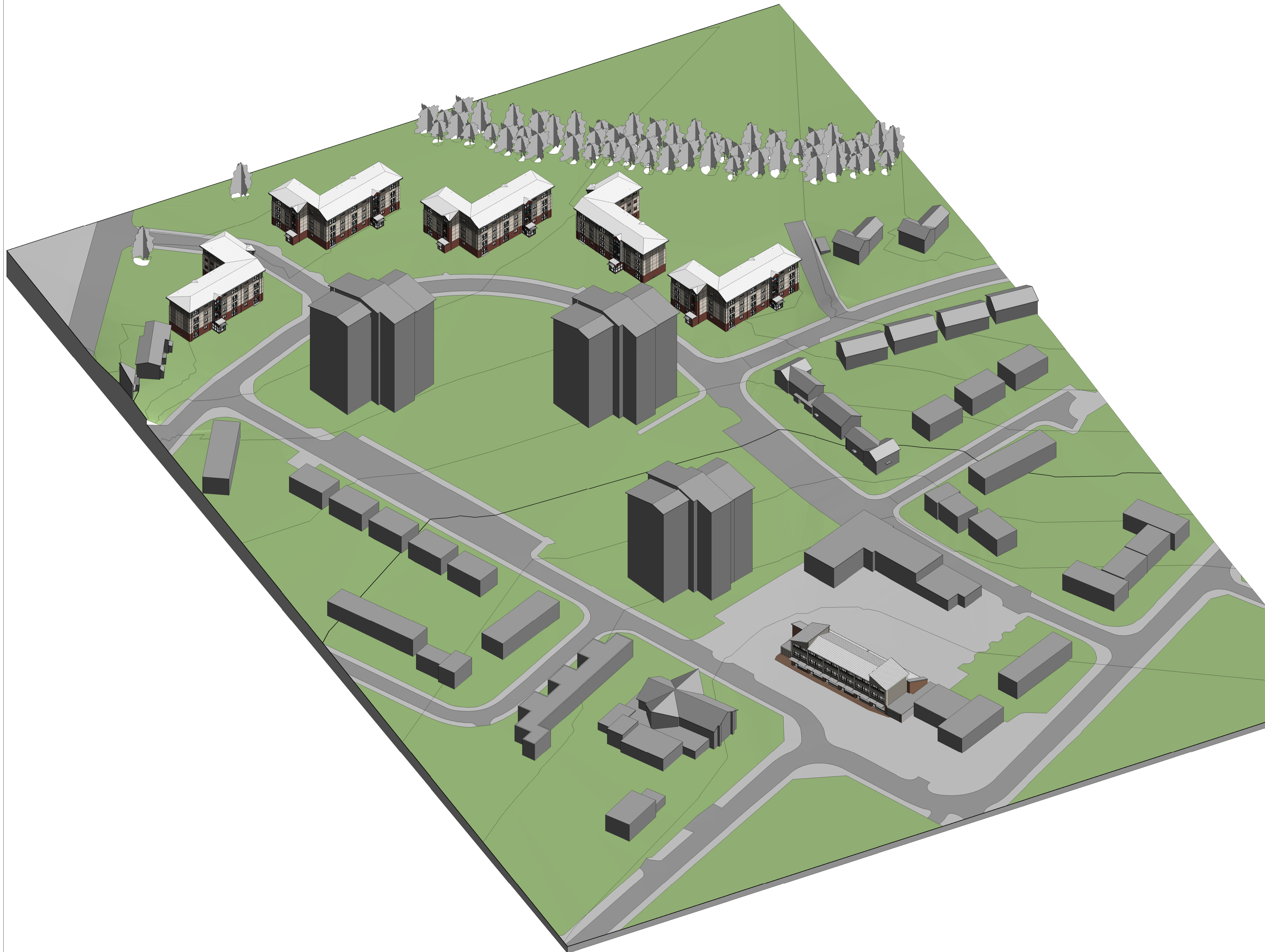
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Organisation	Not Set
Department	Not Set
Comments	Not Set
Date	22 November 2019

DC/19/63633



North Point.  
 +

Key Plan.


Issue	Date	Issue Note	By	Check



Project Title  
**Low Rise Flat & Shops Refurbishment**  
 Location  
**The Lakes & Shops, Lion Farm.**


Sheet Title  
**Proposed Aerial View**  
 Status

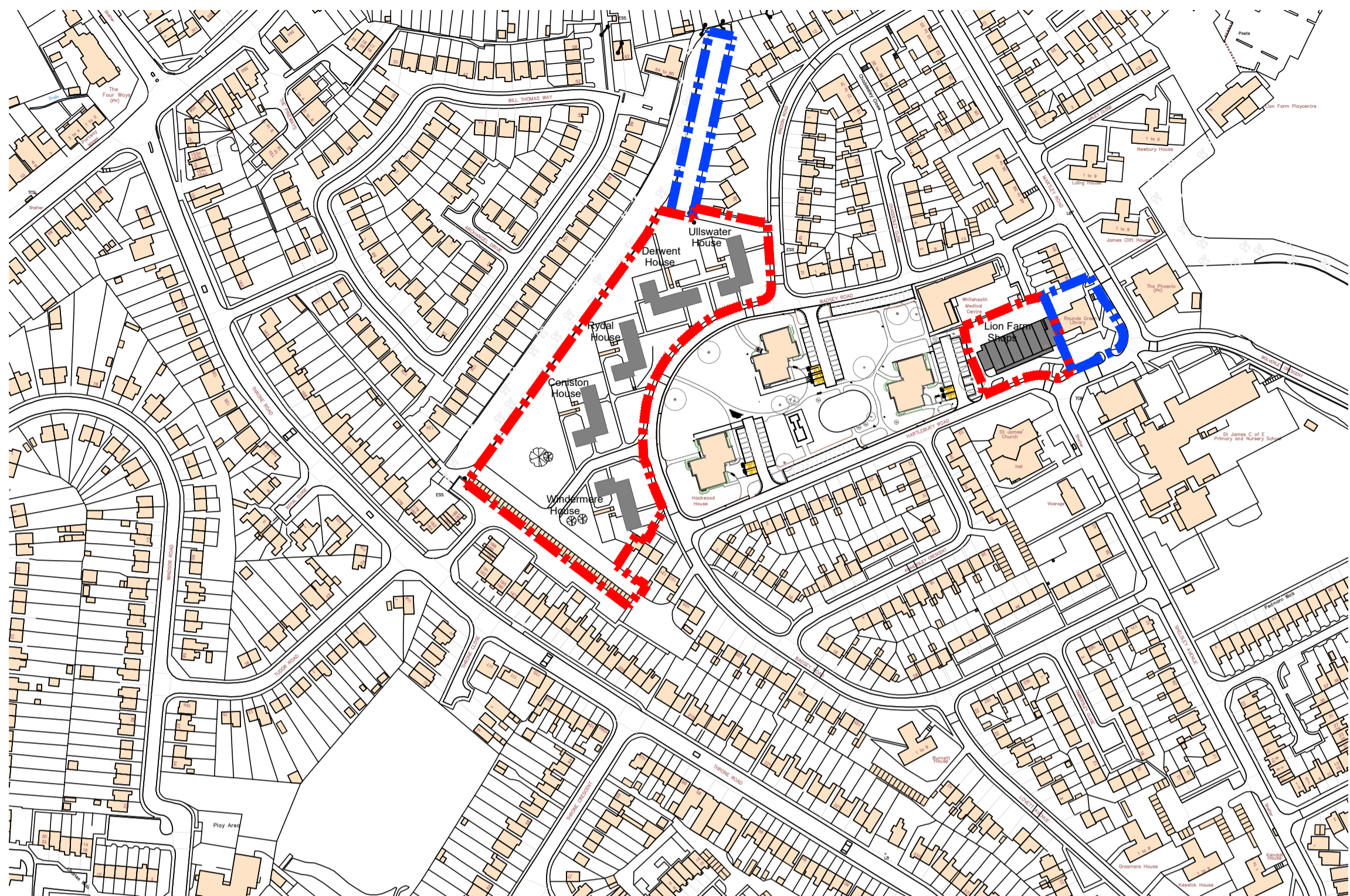
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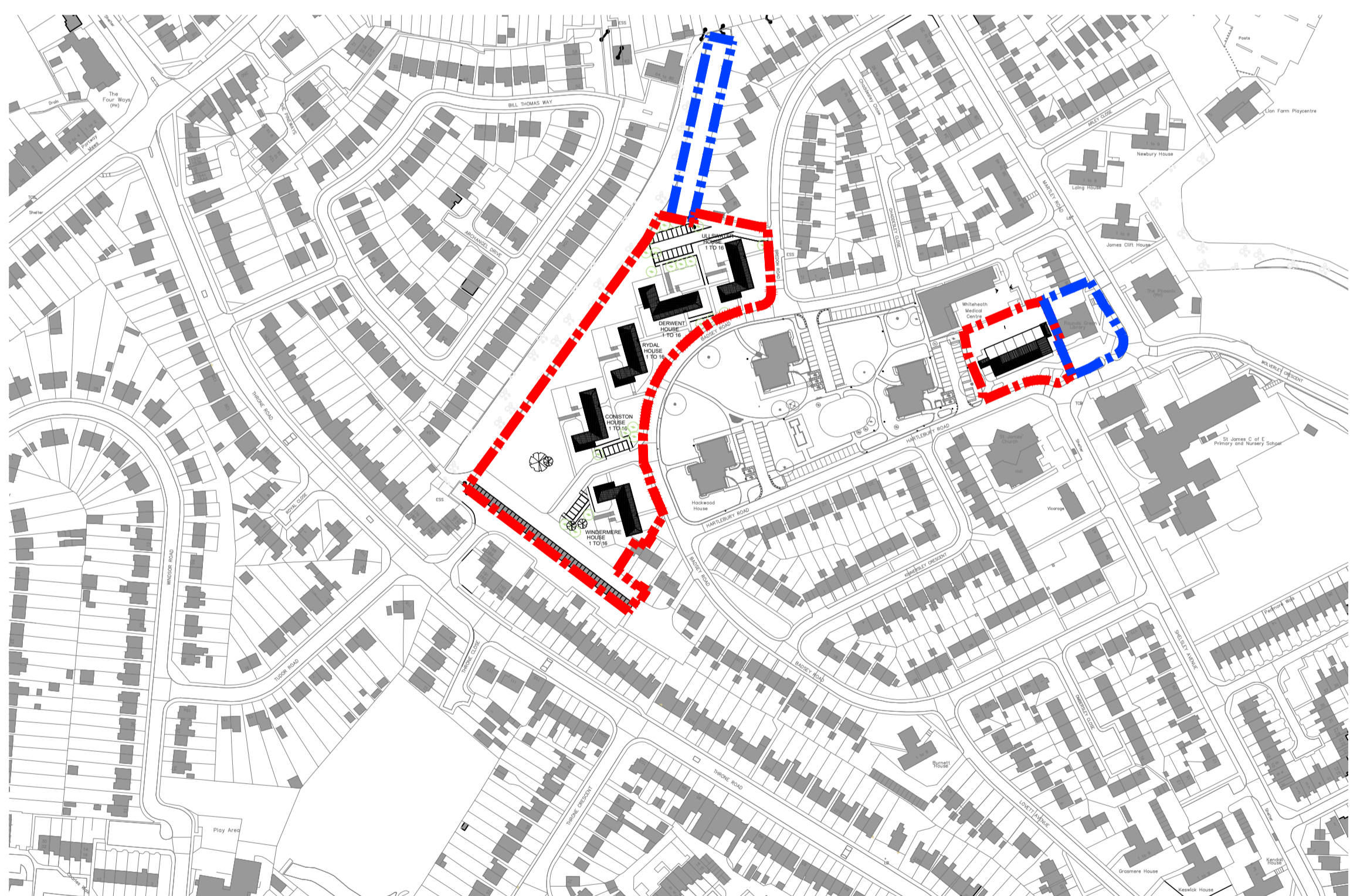
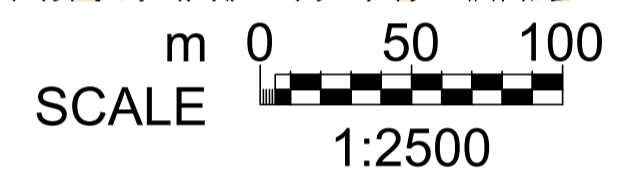
Job No.  
**Q17043**  
 Contractors Drawing No. (if required)

Urban Design & Building Services  
 Sandwell Council House  
 Fresh Street,  
 Oldbury,  
 B69 3DE  
 Tel: 0121 569 4541

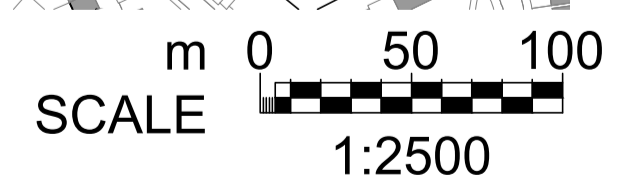




Existing Locations Plan  
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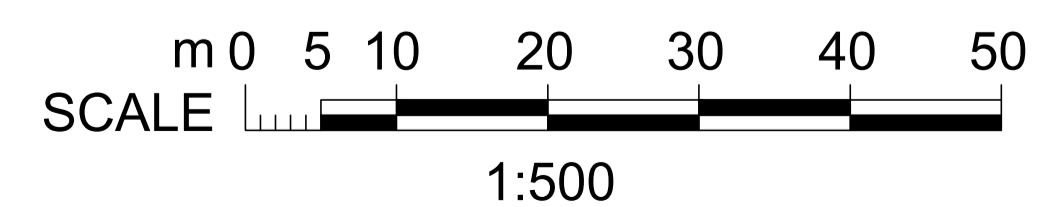
PROPOSED LOCATIONS PLAN  
Scale 1:2500



FOR 'LION FARM SHOPS' SITE PLAN  
REFER TO DRAWING Q17043 AP(04)02

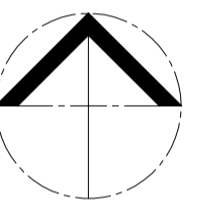


PROPOSED 'THE LAKES' SITE PLAN  
Scale 1:500



Notes  
The Contractor will be responsible for setting out the work.  
All dimensions must be checked or checked on the site.  
Figured dimensions to be used in preference to scale.

North Point:



Key Plan:

Rev	Date	Revision Note	By	Check



Project  
Low Rise Refurbishment  
Location  
The Lakes (All Blocks (5 No.))  
Badsey Road, Oldbury, B69  
Sheet title  
The Lakes Existing & Proposed Site & Location Plan  
Status

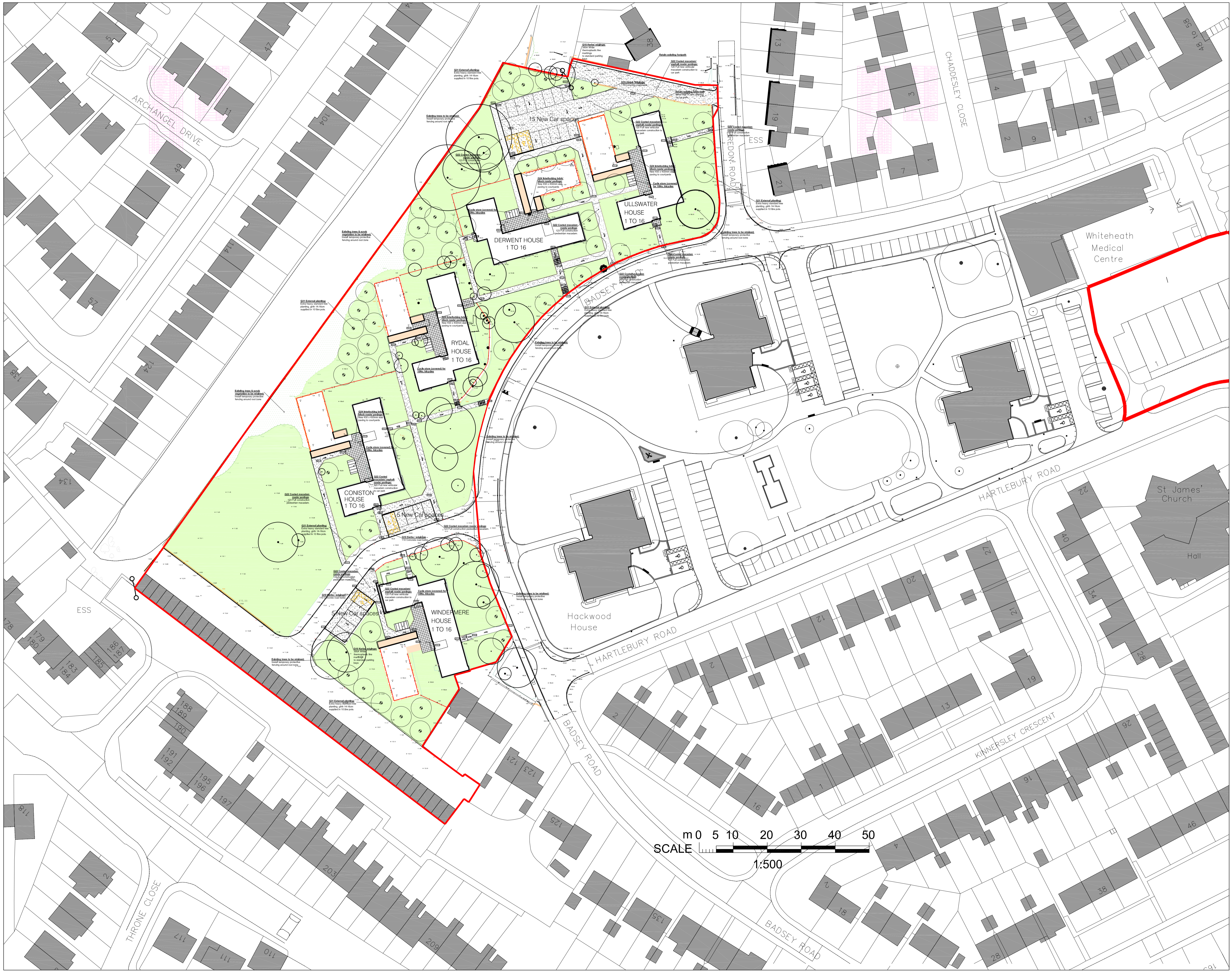
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Job No.	Contractors Drawing No. (if required)
Q17043	

Urban Design & Building Services  
Sandwell Council House  
Freeth Street, Oldbury,  
B69 3DE  
Tel: 0121 969 4541

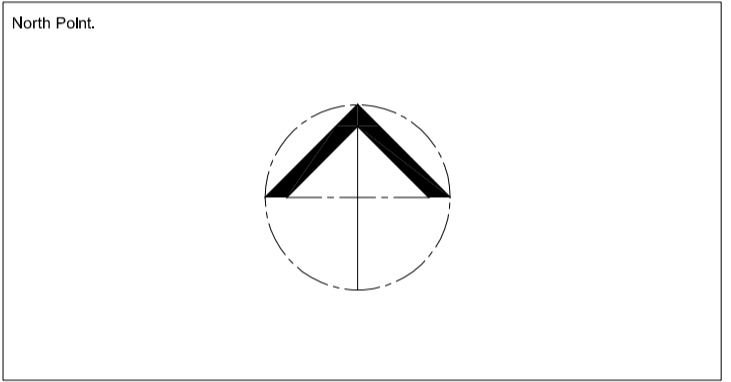




Notes  
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Figure dimensions to be used in preference to scale.

**LEGEND**

- Site boundary
- Existing tree to be retained with protective fence surrounding Drip line
- Proposed extra Heavy Standard tree 14-16cms girth
- +164.38 Existing levels
- +164.38 Proposed levels
- Existing grass retained (Make good)
- Existing vegetation to be retained
- New Tarmac path
- New conc. slab paving
- New cycle shelter
- Drop kerb
- Proposed timber palisade to enclose gardens
- Retained timber palisade fence



Key Plan.

Rev	Date	Revision Note	By	Check



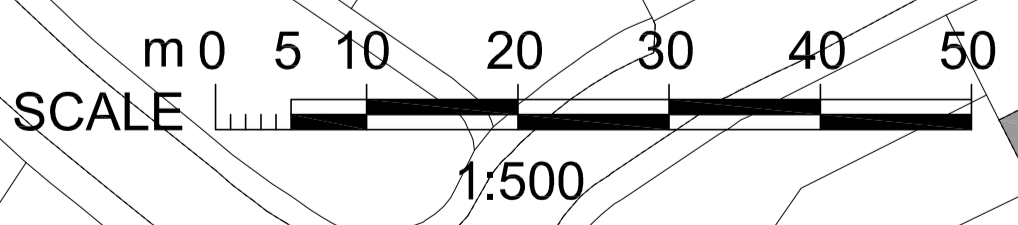
Project: **Low Rise Refurbishment**  
 Location: **The Lakes (All 5No. blocks)**  
 Sheet title: **General Arrangement - Planning**  
 Status:

Drawn by: G. Davis	Date: 04-10-2019	Checked:
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Zone	Level	Classification	Sheet No.	Subsidiary	Ver/Rev
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Job No.: **Q17043**  
 Contractors Drawing No. (if required):

**Urban Design & Building Services**  
 Sandwell Council House  
 Fourth Street, Oldbury,  
 B69 3DE  
 Tel: 0121 569 4541





View A - Proposed



View B - Proposed



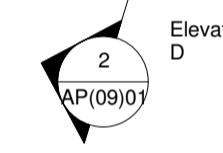
View A - Existing



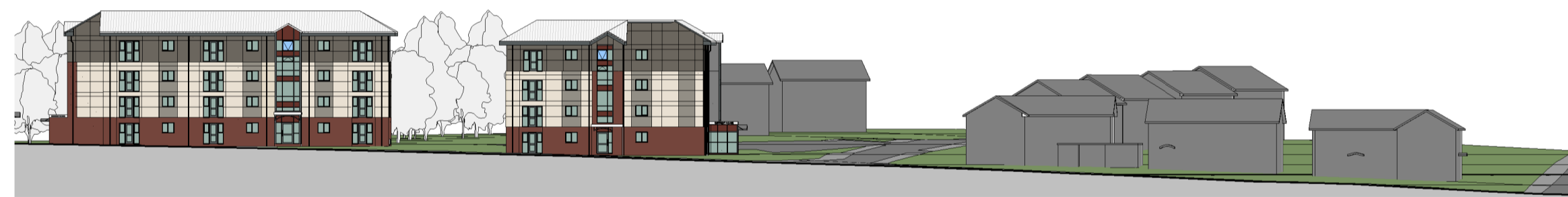
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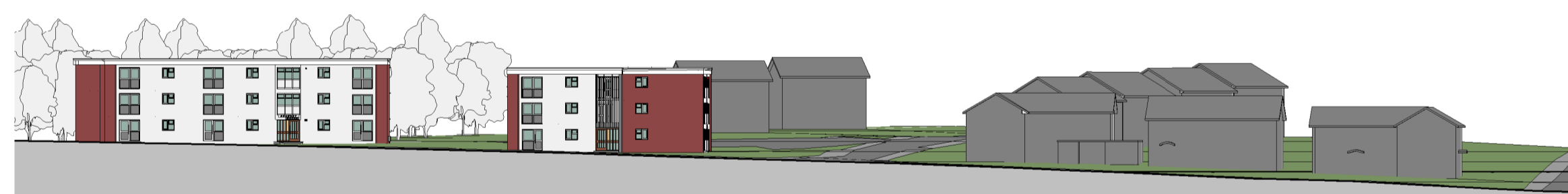
Block Plan  
1 : 1000



0 5 10 20 50 Metres  
GRAPHIC SCALE 1:1000



Elevation C - Proposed  
1 : 500



Elevation C - Existing  
1 : 500



Elevation D - Proposed  
1 : 500



Elevation D - Existing  
1 : 500

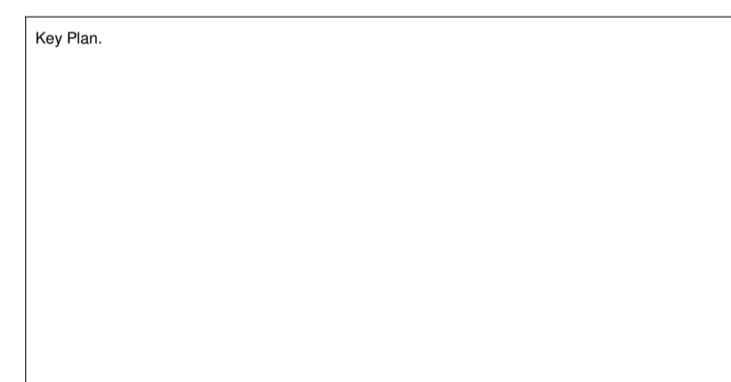
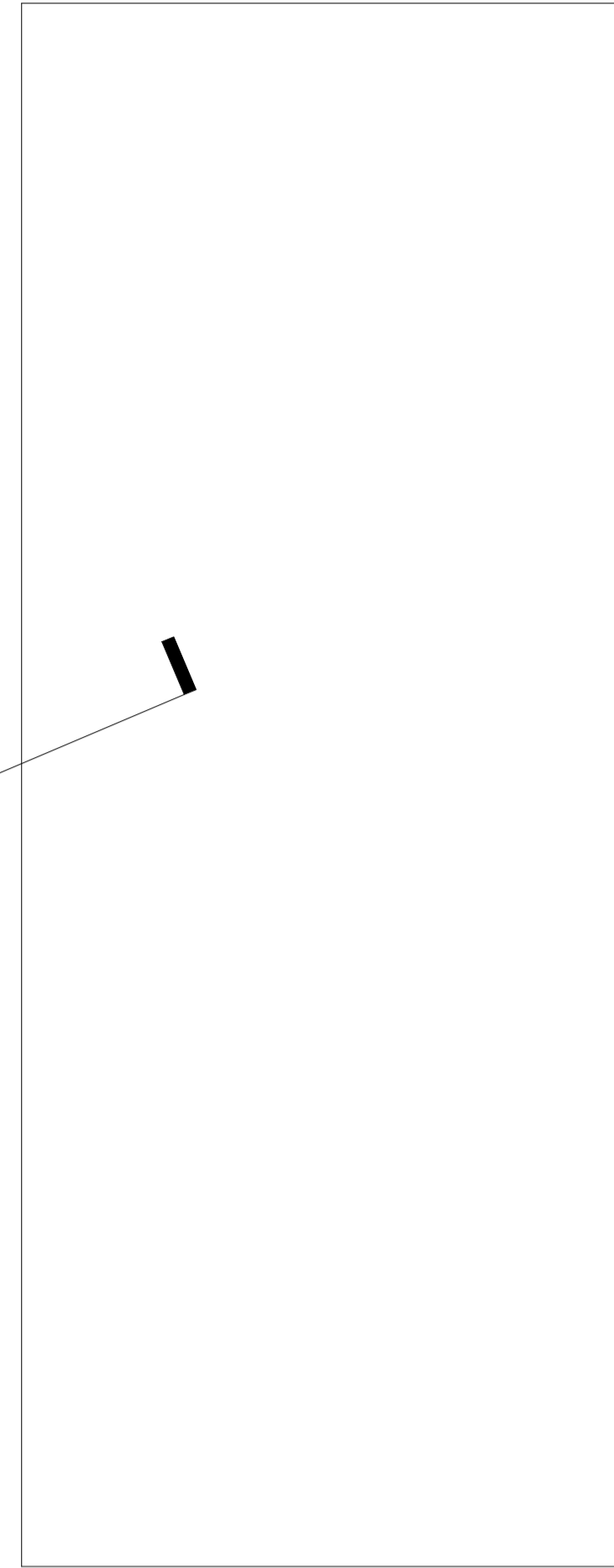


Elevation E - Existing Shops  
1 : 500



Elevation E - Proposed Shops  
1 : 500

0 5 10 20 30 40 50  
GRAPHIC SCALE 1:500



Issue	Date	Issue Note	By	Check



Project Title  
Low Rise Flat & Shops Refurbishment  
Location  
The Lakes & Shops, Lion Farm.  
Sheet Title  
Proposed Site Elevations & Views  
Status

Drawn by: pjd  
Date: 08/15/19  
Checked by: [Signature]  
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Scale at A3: [Blank]

Zone	Level	Classification	Sheet No.	Subsity	Ver Rev
00	ZZ	AP(09)	01	S2	

Job No.: Q17043  
Contractors Drawing No. (if required):

Urban Design & Building Services  
Sandwell Council House  
Frooth Street,  
Oldbury,  
B69 3DE  
Tel: 0121 569 4541



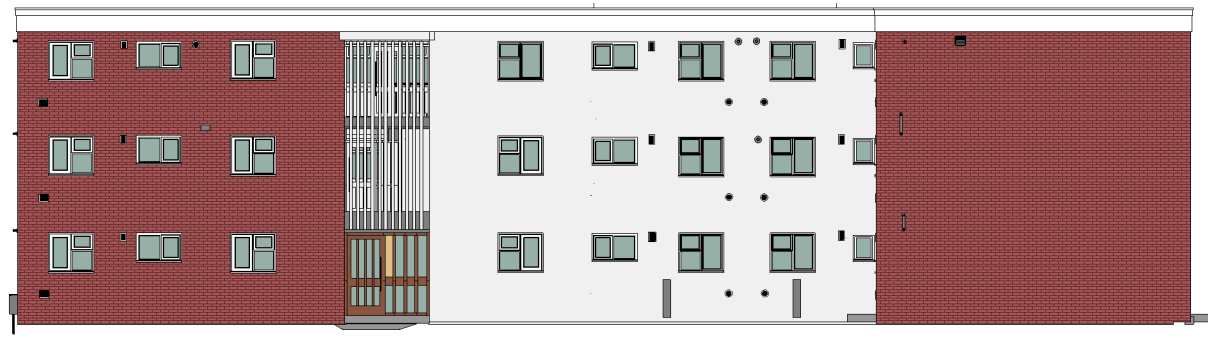
**Notes**  
 The Contractor will be responsible for setting out the work.  
 All Dimensions must be obtained or checked on the site.  
 Figured dimensions to be used in preference to scale.

Details indicated are from DERWENT HOUSE (B69 1DP).  
 They are relevant to all other blocks:-  
 CONISTON HOUSE (B69 1BZ), RYDAL HOUSE (B69 1DA),  
 ULLSWATER HOUSE (B69 1DD), and for WINDERMERE HOUSE\*  
 (B69 1BY).  
 \*WINDERMERE HOUSE BUILDING/LAYOUT IS HANDED.  
 Any discrepancies found on site are to be notified to the C.A.

NOTE - ALL EXISTING FLOOR LEVELS TO EACH BLOCK ARE TO  
 BE SURVEYED/CONFIRMED PRIOR TO ANY DESIGN/DETAILING  
 OF THE NEW STAIR FLIGHTS.

For Sanitary Setting-out refer to drawing series 'AG(73) & AG(74)'.  
**EXISTING -  
 EXTERNAL COLOUR SCHEDULE**

Brickwork -	Red/Brown
Concrete 'No Fines' Panels -	Off White
Flat Roof -	Felt, Red
Fascia -	Concrete Panels
<b>Typical Window Frames -</b>	
Framing -	uPVC White
Glass -	Clear
Handles -	PPC White
Internal Sash -	uPVC White
<b>Spandrel Panel Colours -</b>	
WINDERMERE HOUSE -	Sandy Yellow
CONISTON HOUSE -	Light Pink
RYDAL HOUSE -	Pastel Green
DERWENT HOUSE -	Light Ivory
ULLSWATER -	Light Pink



**1 Existing North Elevation**  
1 : 100



**2 Existing East Elevation**  
1 : 100



**3 Existing West Elevation**  
1 : 100



**4 Existing South Elevation**  
1 : 100

NOTE: Windermere House handed.



Issue	Date	Issue Note	By	Check



Project Title  
**Low Rise Refurbishment**

Location  
 The Lakes, Badsey Road, Lion Farm.  
 4 New Adaptable, Lift in Flats 1,5,9&13

Sheet Title  
**Existing Typical Elevations-All blocks, Windermere handed**

Status

Drawn by MKSurveys	Date 09/06/18	Checked by
Scale at A1 1:100	Scale at A3 1:200	

Sheet Identifier

Zone 00	Level ZZ	Classification AP(05)	Sheet No. 11	Subsity S2	Ver/Rev
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Job No.  
**Q17043**

Contractors Drawing No. (if required)

Urban Design & Building Services  
 Sandwell Council House  
 Health Street,  
 Oldbury,  
 B69 3DE  
 Tel: 0121 569 4541



**1 Proposed North Elevation**  
1 : 100



**2 Proposed East Elevation**  
1 : 100



**4 Proposed South Elevation**  
1 : 100



**3 Proposed West Elevation**  
1 : 100

NOTE: Windermere House handed.



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They are relevant to all other blocks:-  
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ULLSWATER HOUSE (B69 1DD), and for WINDERMERE HOUSE\*  
(B69 1BVI).  
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**PROPOSED - EXTERNAL COLOUR SCHEDULE**

**Typical Grd Floor Brickwork/Brick Slips -**  
Cheddar Brown (Ibstock)

**Typical 1st & 2nd Floor Rainscreen Cladding -**  
Main Walls - RAL 9001 (Cream)  
Feature Areas - RAL 7030 (Stone Grey)

**Typical 3rd Floor Rainscreen Cladding -**  
RAL 7039 (Quartz Grey)

**Typical Pitched/Profile Roof -**  
Sheeting - Natural Stucco Embossed  
Fascias/Trims - RAL 7012 (Basalt Grey)  
Soffit - RAL 9010 (Pure White)

**Typical Windows Frames -**  
Framing - RAL 7012 (Basalt Grey)  
Glass - Clear  
Handles - Silver  
Internal Sash - Pine, Clear Lacquer

**Typical Balconies -**  
Framing - RAL 7012 (Basalt Grey)  
Glass - Clear  
Handrails - Stainless Steel

**Spandrel Panel Colours -**

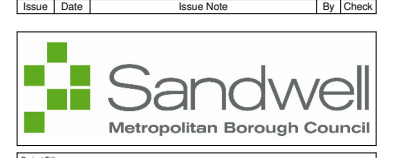
WINDERMERE HOUSE - RAL 8012 (Red Brown)  
CONISTON HOUSE - RAL 8012 (Red Brown)  
RYDAL HOUSE - RAL 8012 (Red Brown)  
DERWENT HOUSE - RAL 8012 (Red Brown)  
ULLSWATER - RAL 8012 (Red Brown)

**Canopies -**  
Canopy Frame - RAL 7012 (Basalt Grey)  
Glass - Anti-sun Grey Tinted Glass



Key Plan

Issue	Date	Issue Note	By	Check



Project Title  
**Low Rise Refurbishment**

Location  
**The Lakes, Badsey Road, Lion Farm.**

Sheet Title  
**Proposed Typical Elevations-All blocks, Windermere handed**

Status

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Scale at A1	Scale at A3	
1:100	1:200	

Sheet Identifier

Zone	Level	Classification	Sheet No.	Subsidiary	Var/Rev
00	ZZ	AP(05)	12	S2	

Job No.  
**Q17043**

Contractors Drawing No. (if required)

Urban Design & Building Services  
Sandwell Council House  
Heath Street,  
Oldbury,  
B69 3DE  
Tel: 0121 569 4541

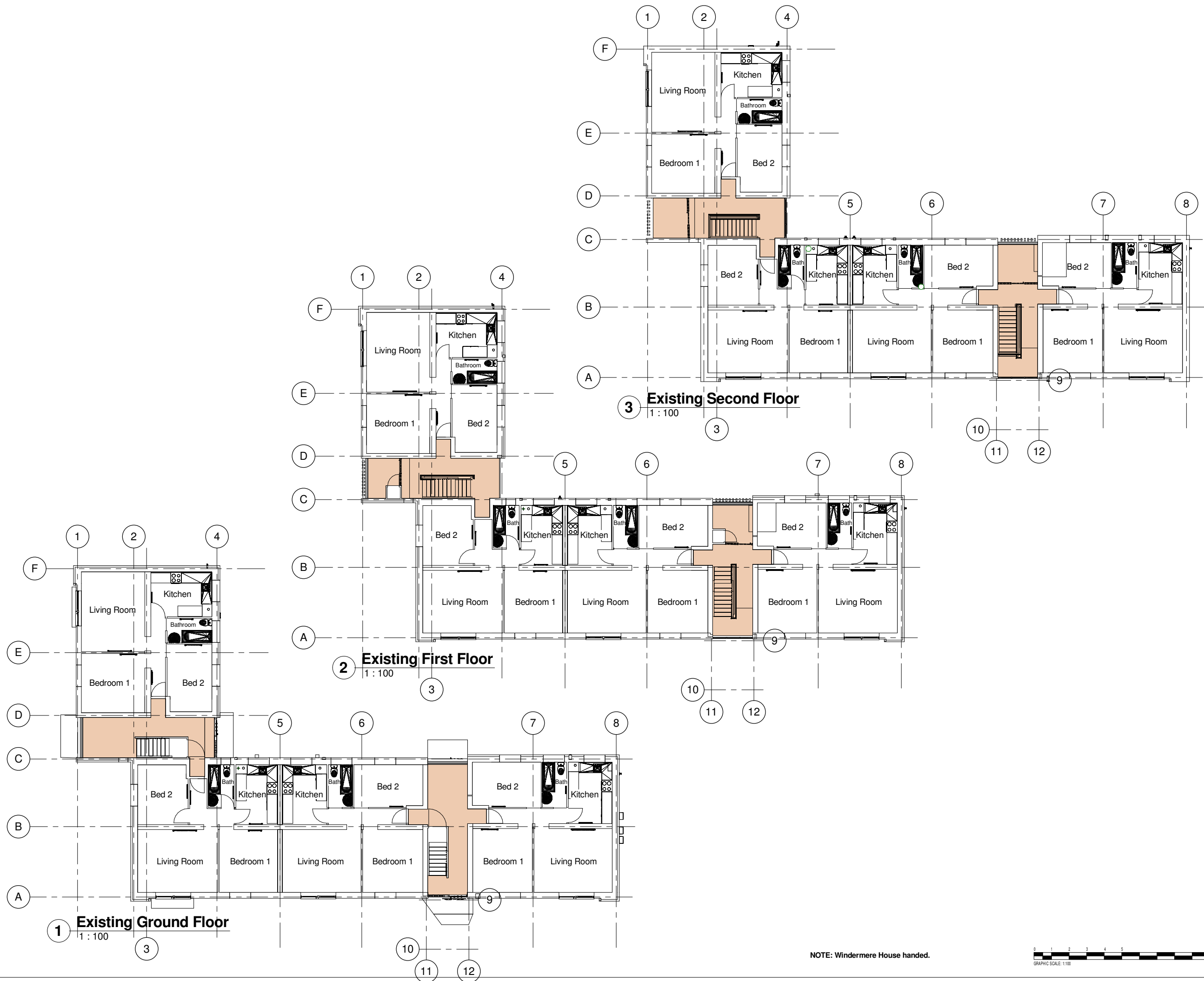
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NOTE - ALL EXISTING FLOOR LEVELS TO EACH BLOCK ARE TO BE SURVEYED/CONFIRMED PRIOR TO ANY DESIGN/DETAILING OF THE NEW STAIR FLIGHTS.

For Sanitary Setting-out refer to drawing series 'AG(73) & AG(74)'



NOTE: Windermere House handed.



North Point:

+

Key Plan:

Issue	Date	Issue Note	By	Check



**Project Title:** Low Rise Refurbishment  
**Location:** The Lakes, Badsey Road, Lion Farm.  
 4 New Adaptable, Lift in Flats 1,5,9&13  
**Sheet Title:** Existing Typical Floor Plans-All Blocks, Windermere handed

Drawn by	Date	Checked by
MKS/Survey	08/16/18	

Scale at A1	Scale at A3
1:100	1:200

Zone	Level	Classification	Sheet No.	Subsidiary	Ver-Rev
00	ZZ	AP(04)	11	S2	

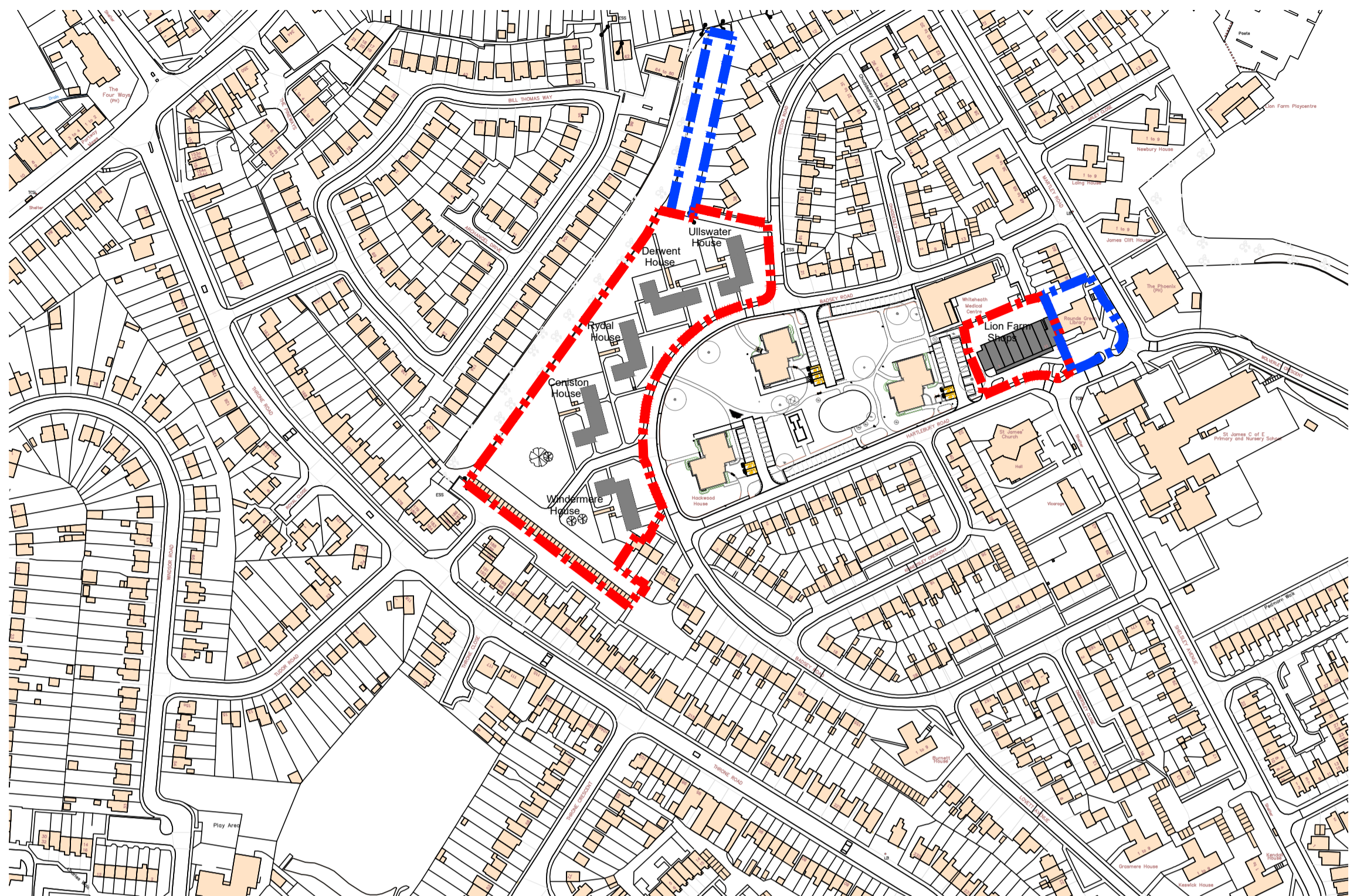
**Job No.:** Q17043  
**Contractors Drawing No. (if required):**

**Urban Design & Building Services**  
 Sandwell Council House  
 Heath Street,  
 Oldbury,  
 B69 3DE  
 Tel: 0121 589 4541

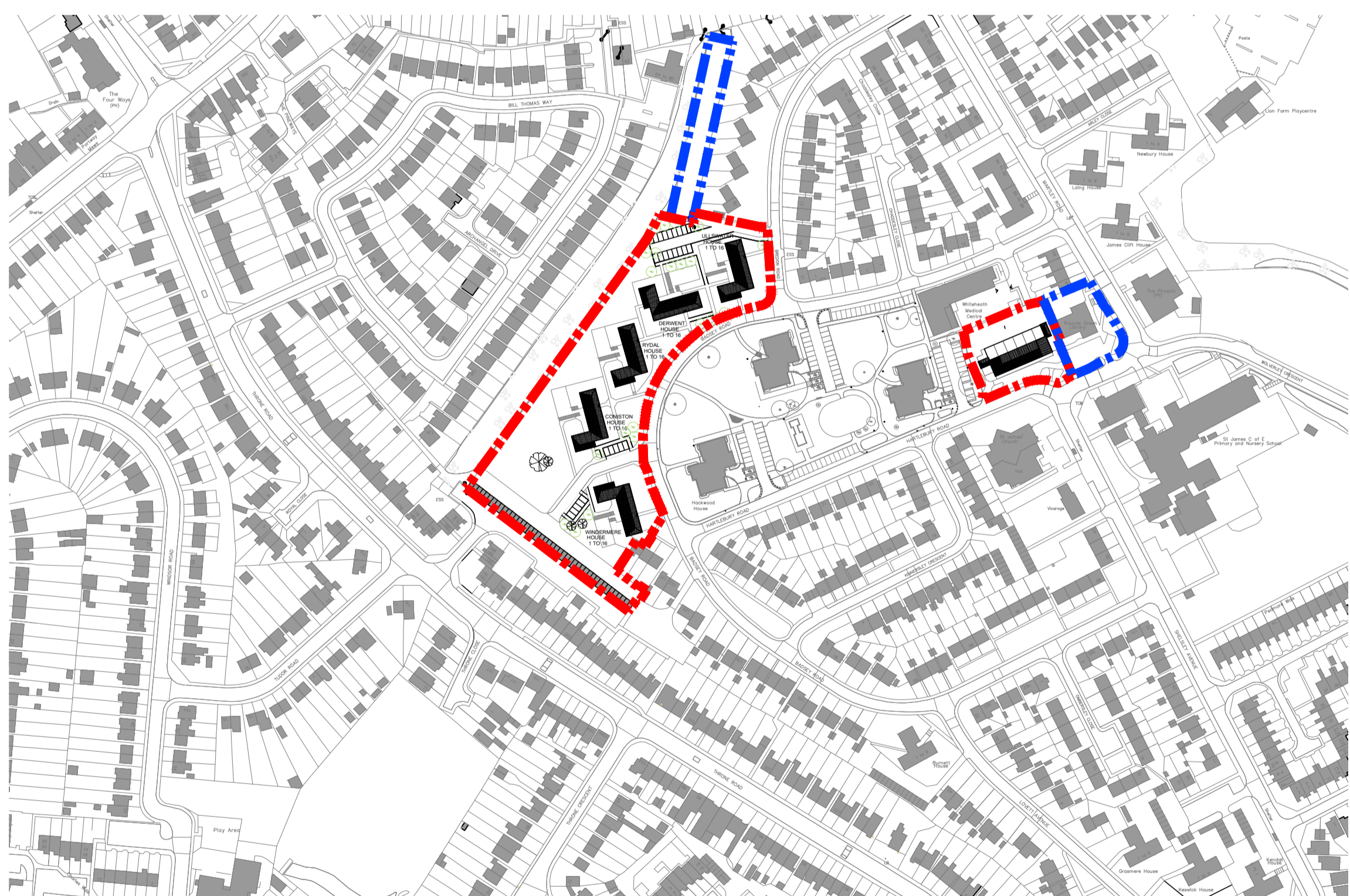
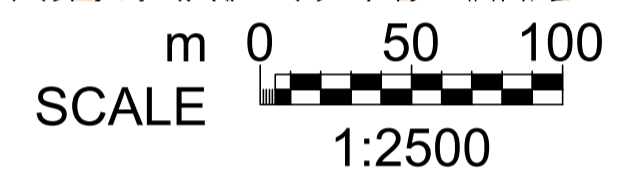




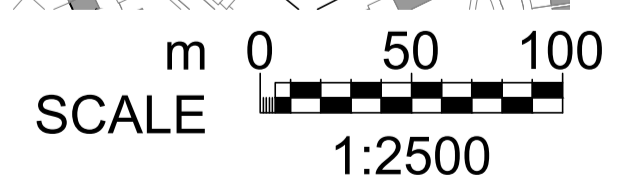




Existing Location Plan  
Scale 1:2500



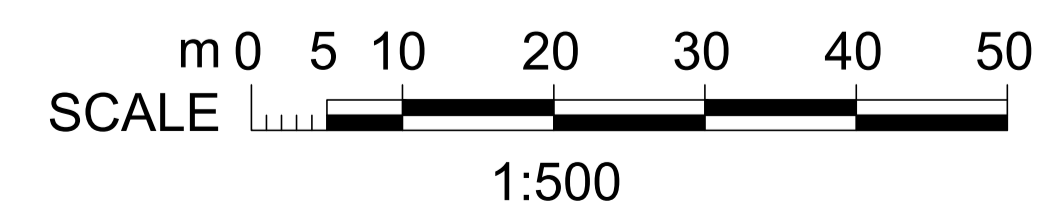
PROPOSED LOCATION PLAN  
Scale 1:2500



FOR 'THE LAKES' SITE PLAN  
REFER TO DRAWING Q17043 AP(04)01

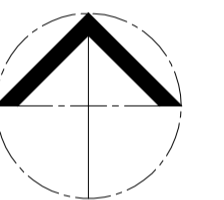


PROPOSED SITE 'LION FARM SHOP' PLAN  
Scale 1:500



Notes  
The Contractor will be responsible for setting out the work.  
All dimensions must be obtained or checked on the site.  
Figured dimensions to be used in preference to scale.

North Point:



Key Plan:

Rev	Date	Revision Note	By	Check



Project  
Lion Farm Refurbishment  
Location  
Lion Farm Shops  
Hartlebury Road, Oldbury, B69  
Sheet title  
Lion Farm Shops Site & Location Plan  
Status

Drawn by	Date	Checked
pm	12/08/19	
Scale at A1	Scale at A3	
500/2500	1000/5000	

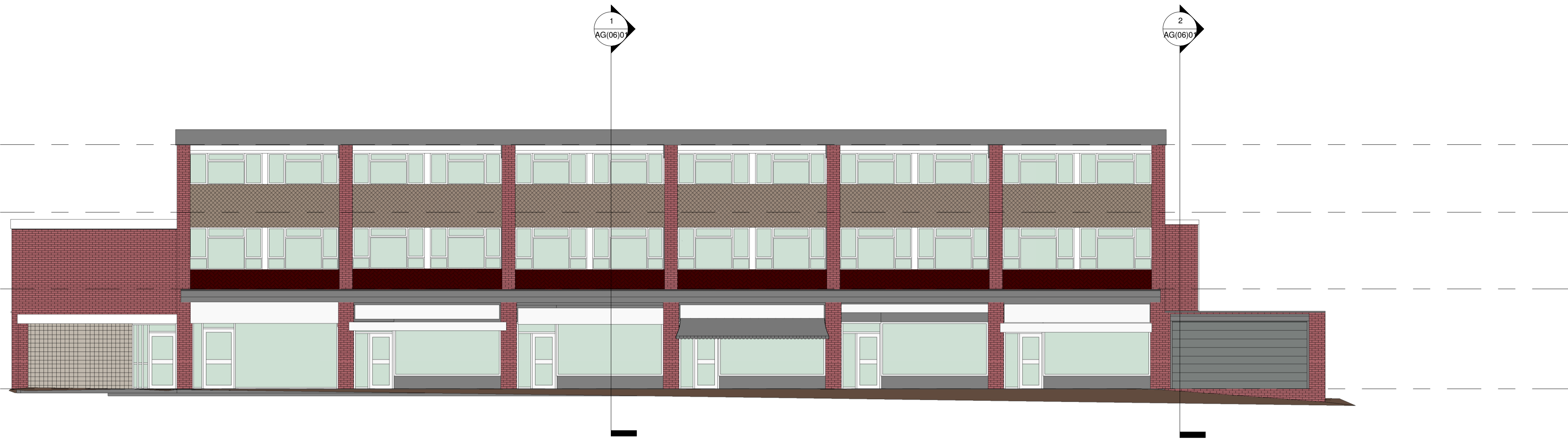
Zone	Level	Classification	Sheet No.	Stability	Ver/Rev
00	ZZ	AP(04)	02	S2	

Job No:  
Q17043

Urban Design & Building Services  
Sandwell Council House  
Freeth Street, Oldbury,  
B69 3DE  
Tel: 0121 969 4541

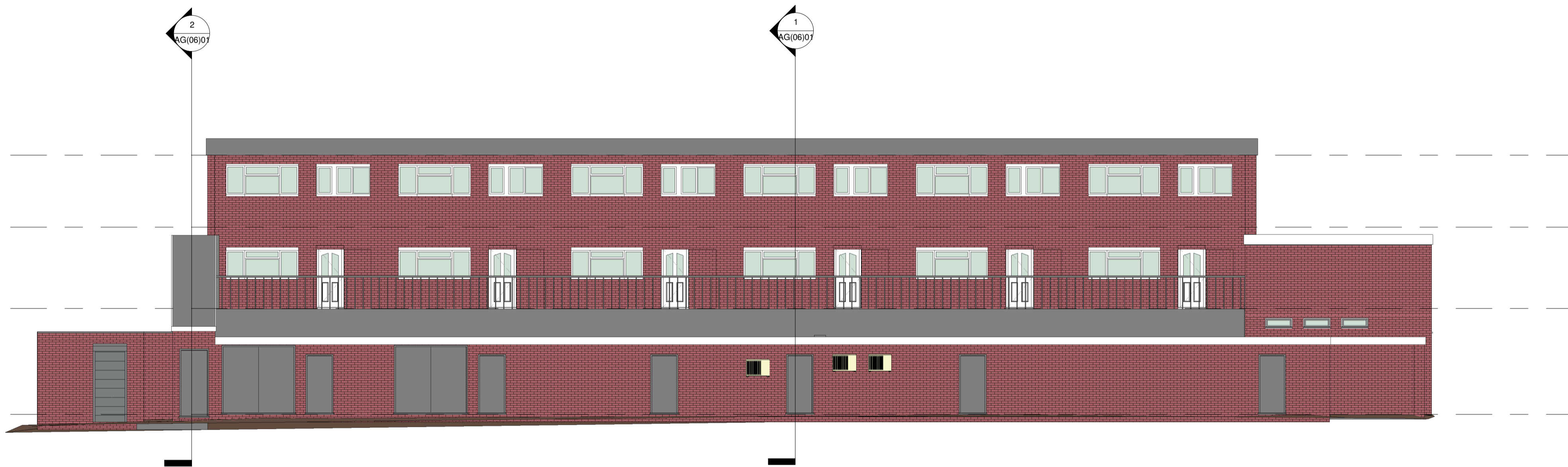


- 04 ROOF LEVEL  
170340.00 mm
- 03 SECOND FLOOR  
167950.00 mm
- 02 FIRST FLOOR  
165250.00 mm
- 01 GROUND FLOOR  
161730.00 mm



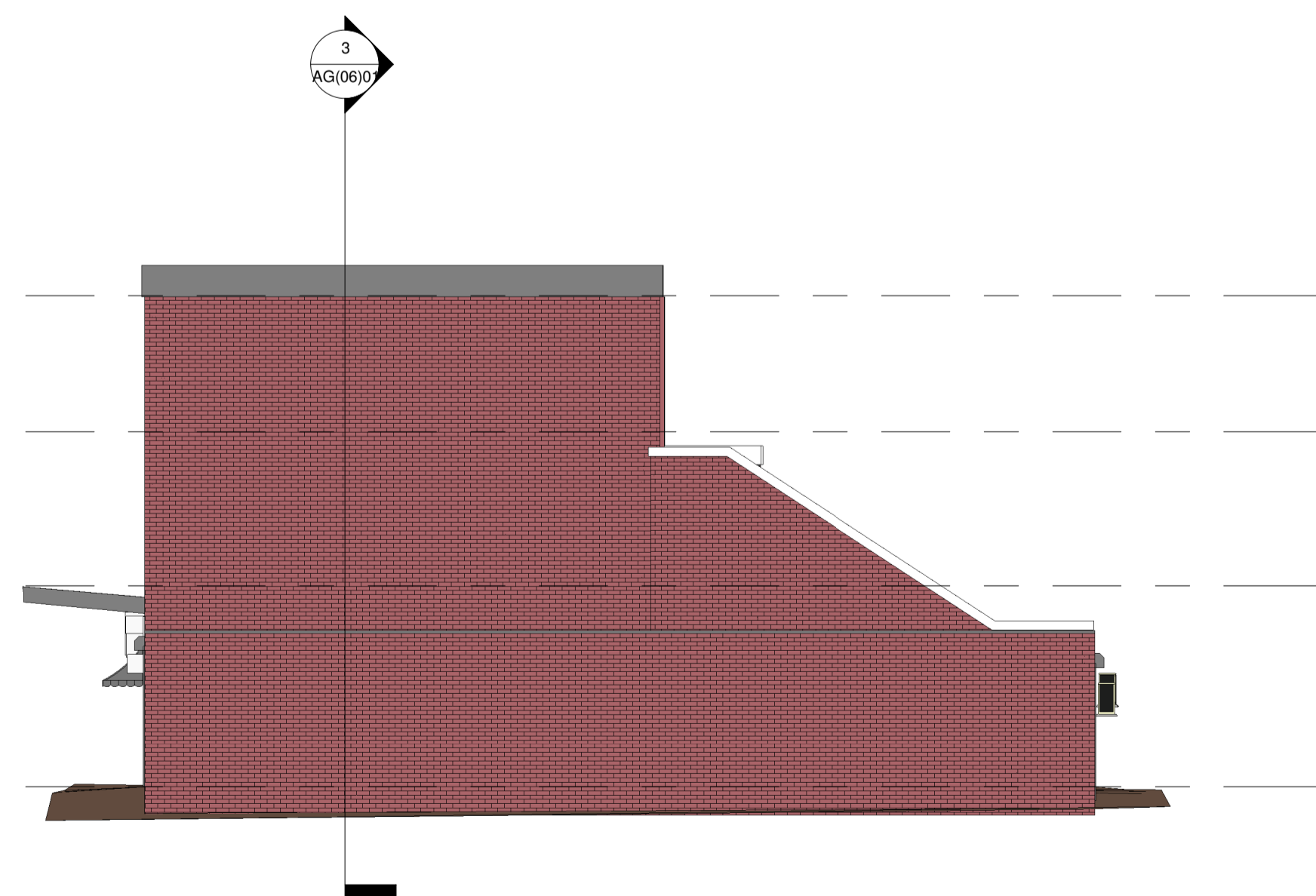
**1 Front Elevation**  
1 : 100

- 04 ROOF LEVEL  
170340.00 mm
- 03 SECOND FLOOR  
167950.00 mm
- 02 FIRST FLOOR  
165250.00 mm
- 01 GROUND FLOOR  
161730.00 mm



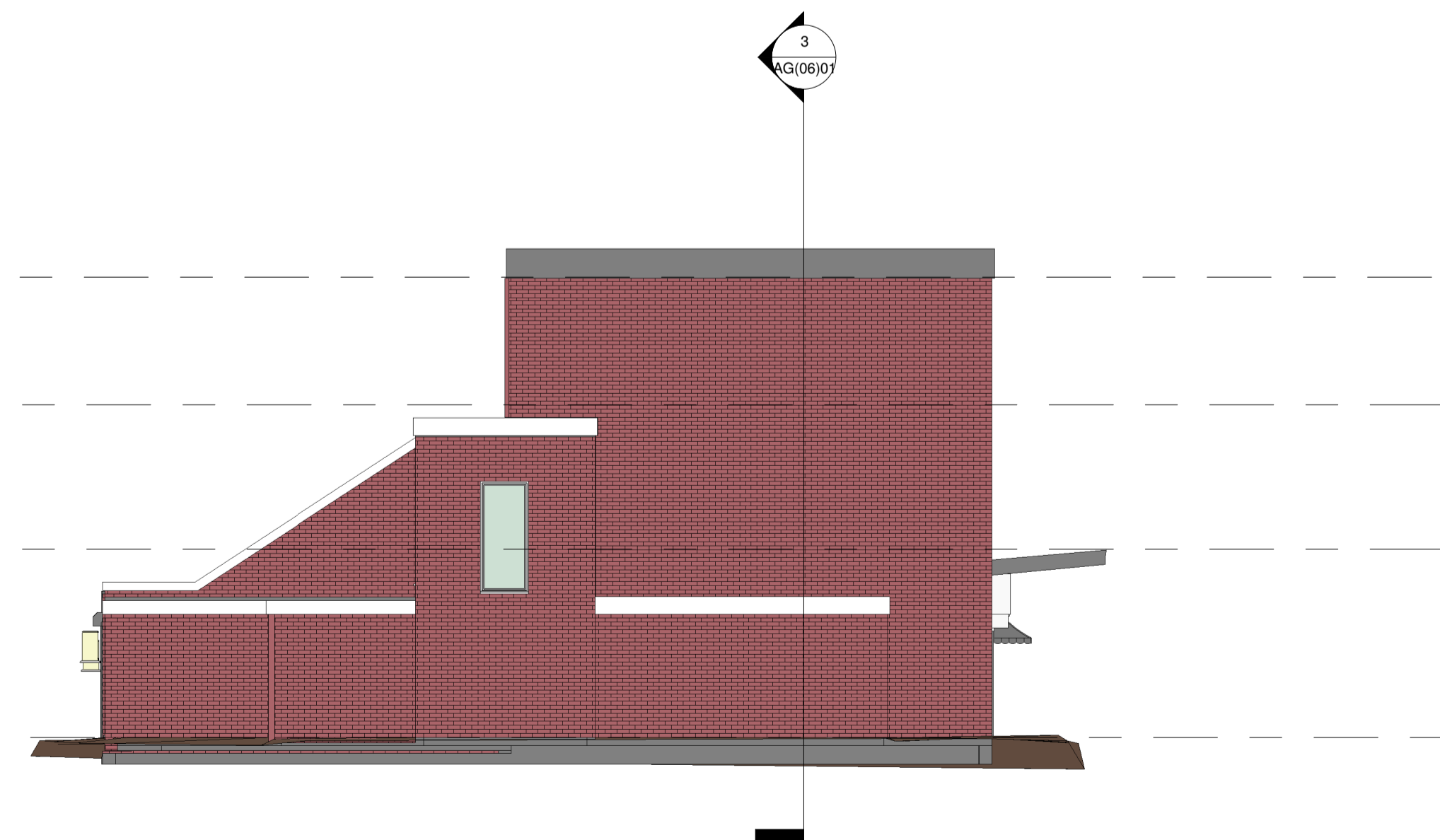
**2 Rear Elevation**  
1 : 100

- 04 ROOF LEVEL  
170340.00 mm
- 03 SECOND FLOOR  
167950.00 mm
- 02 FIRST FLOOR  
165250.00 mm
- 01 GROUND FLOOR  
161730.00 mm

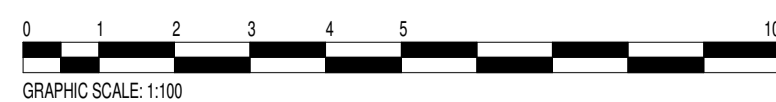


**3 Side Elevation A**  
1 : 100

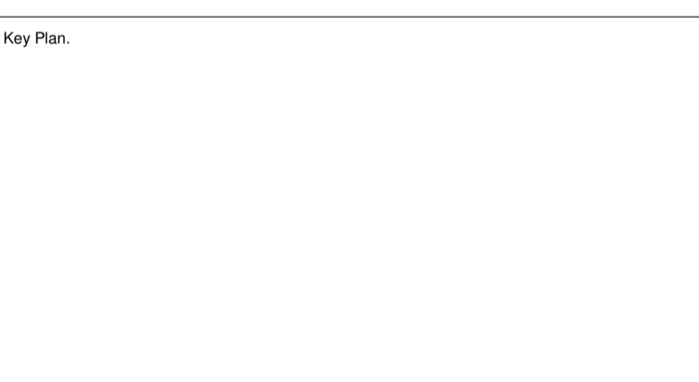
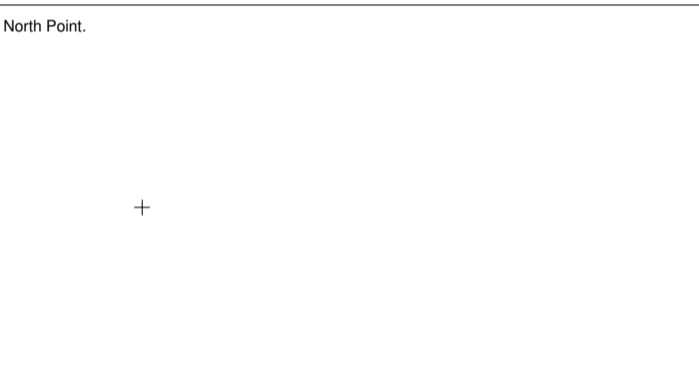
- 04 ROOF LEVEL  
170340.00 mm
- 03 SECOND FLOOR  
167950.00 mm
- 02 FIRST FLOOR  
165250.00 mm
- 01 GROUND FLOOR  
161730.00 mm



**4 Side Elevation B**  
1 : 100



**Note**  
The Contractor will be responsible for setting out the work.  
All Dimensions must be obtained or checked on the site.  
Figured dimensions to be used in preference to scale.



Issue	Date	Issue Note	By	Check




Project Title  
Lion Farm Shops  
Location  
Hartlebury Road, Lion Farm,  
Rowley Regis, West Mids.  
Sheet Title  
Existing Elevations  
Status

Drawn by  
MKS/ptd  
Scale at A1  
1:100  
Date  
12/21/18  
Checked by  
[Signature]  
Scale at A3  
1:100

Zone	Level	Classification	Sheet No.	Subsidiary	Ver/Rev
SH	ZZ	AP(05)	01	S2	

Job No.  
Q17043  
Contractors Drawing No. (if required)

Urban Design & Building Services  
Sandwell Council House  
Frooth Street,  
Oldbury,  
B69 3DE  
Tel : 0121 569 4541





**1 Front Elevation**  
1 : 100

All existing windows to be removed and replaced with new double glazed timber/aluminium composite type.  
Existing walls to be insulated and clad with coloured effect fibre cement rain screen cladding panels, A2 classification; on carrier rail system with 100mm Knauf Earthwool Rainscreen slab insulation or similar. NBS:H92/111.  
Saw cut existing concrete canopy and remove. Provide new lightweight canopy (brise soleil). NBS:25-55-45/130

New shop fronts including powder coated combination frames, new signs, roller shutters etc.  
Construction and use of existing side building to be checked prior to possible modifications / improvement design.

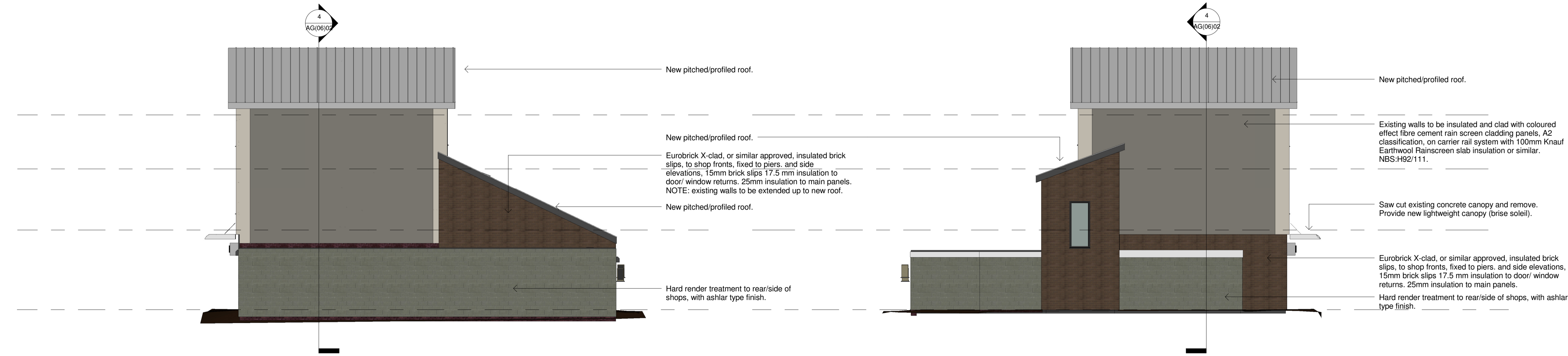
Eurobrick X-clad, or similar approved, insulated brick slips, to shop fronts, fixed to piers. 15mm brick slips 17.5 mm insulation to returns. 25mm insulation to main panels.  
Insulated brick slips (or coloured cladding panels) to existing wall below shop window.



**2 Rear Elevation**  
1 : 100

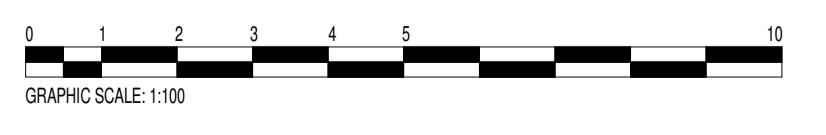
New pitched/roofed roof.  
All existing windows to be removed and replaced with new double glazed timber/aluminium composite type.  
Existing walls to be insulated and clad with coloured effect fibre cement rain screen cladding panels, A2 classification, on carrier rail system with 100mm Knauf Earthwool Rainscreen slab insulation or similar. NBS:H92/111.

New entrance doorsets, hardwood faced solid timber core, 1/2hr fire resisting FD30s security door, from Nationwide Ltd. / I.G. Doors or similar approved.  
Eurobrick X-clad, or similar approved, insulated brick slips, to shop fronts, fixed to piers, and side elevations, 15mm brick slips 17.5 mm insulation to door/ window returns. 25mm insulation to main panels.  
Hard render treatment to rear of shops, with ashlar type finish.  
Door replaced with PPC stainless steel security doors and frames.



**3 Side Elevation A**  
1 : 100

**4 Side Elevation B**  
1 : 100



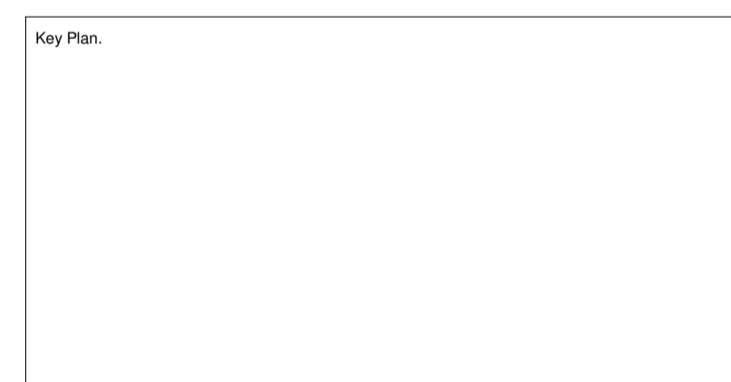
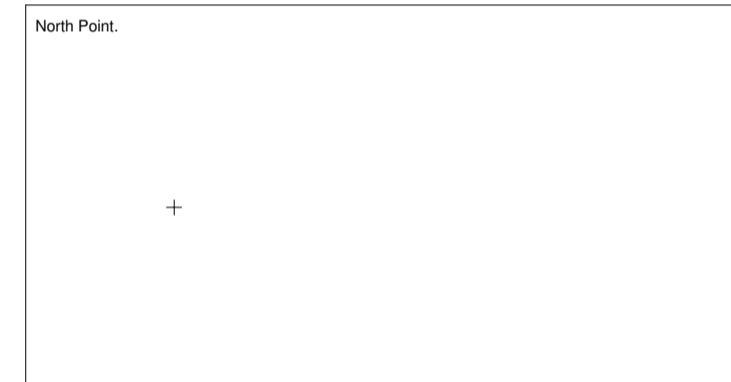
**Note**  
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Figured dimensions to be used in preference to scale.

**CLADDING**

- RAL 7022
- RAL 7039
- RAL 7030
- RAL 7038
- RAL 9002
- RAL 9001-Cream

**BRICKWORK - Ibstock Cheddar Brown**

**High Polymer Render - Ashlar effect - Grey**



Issue	Date	Issue Note	By	Check




Project Title  
Lion Farm Shops  
Location  
Hartlebury Road, Lion Farm,  
Rowley Regis, West Mids.  
Sheet Title  
Proposed Elevations

Drawn by	Date	Checked by
pd	01/04/19	<i>[Signature]</i>
Scale at A1	Scale at A3	
1:100		

Zone	Level	Classification	Sheet No.	Subsidiary	Ver/Rev
SH	ZZ	AP(05)	02	S2	

Job No.  
Q17043  
Contractors Drawing No. (if required)

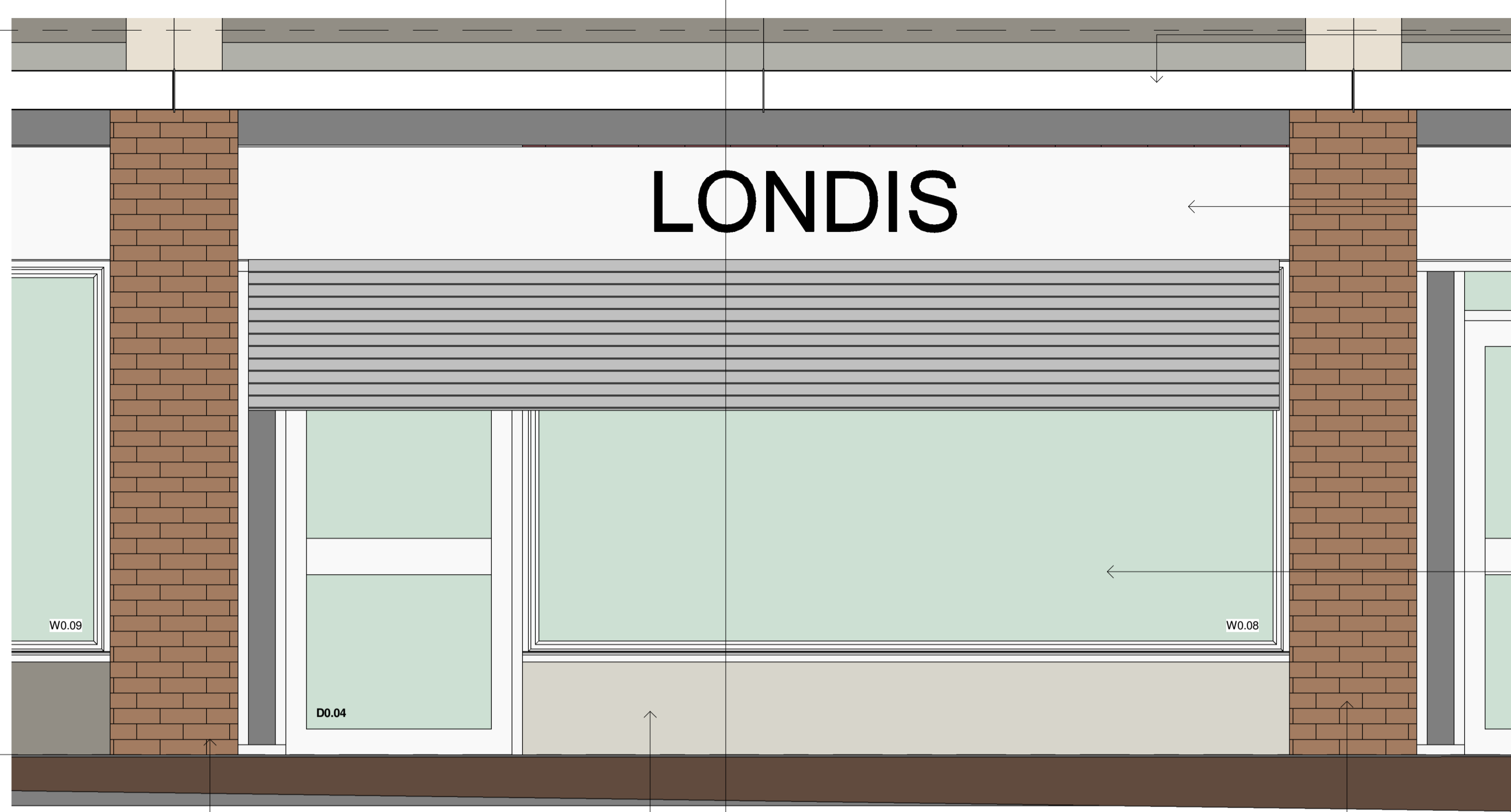
Urban Design & Building Services  
Sandwell Council House  
Fresh Street,  
Oldbury,  
B69 3QE  
Tel: 0121 569 4541



02 FIRST FLOOR  
165250.00 mm

01 GROUND FLOOR  
161730.00 mm

**1 Front Elevation**  
1 : 20



Insulated brick slips (or coloured cladding panels) to existing wall below shop window.

Eurebrick X-clad, or similar approved, insulated brick slips, to shop fronts, fixed to piers. 15mm brick slips 17.5 mm insulation to returns. 25mm insulation to main panels.

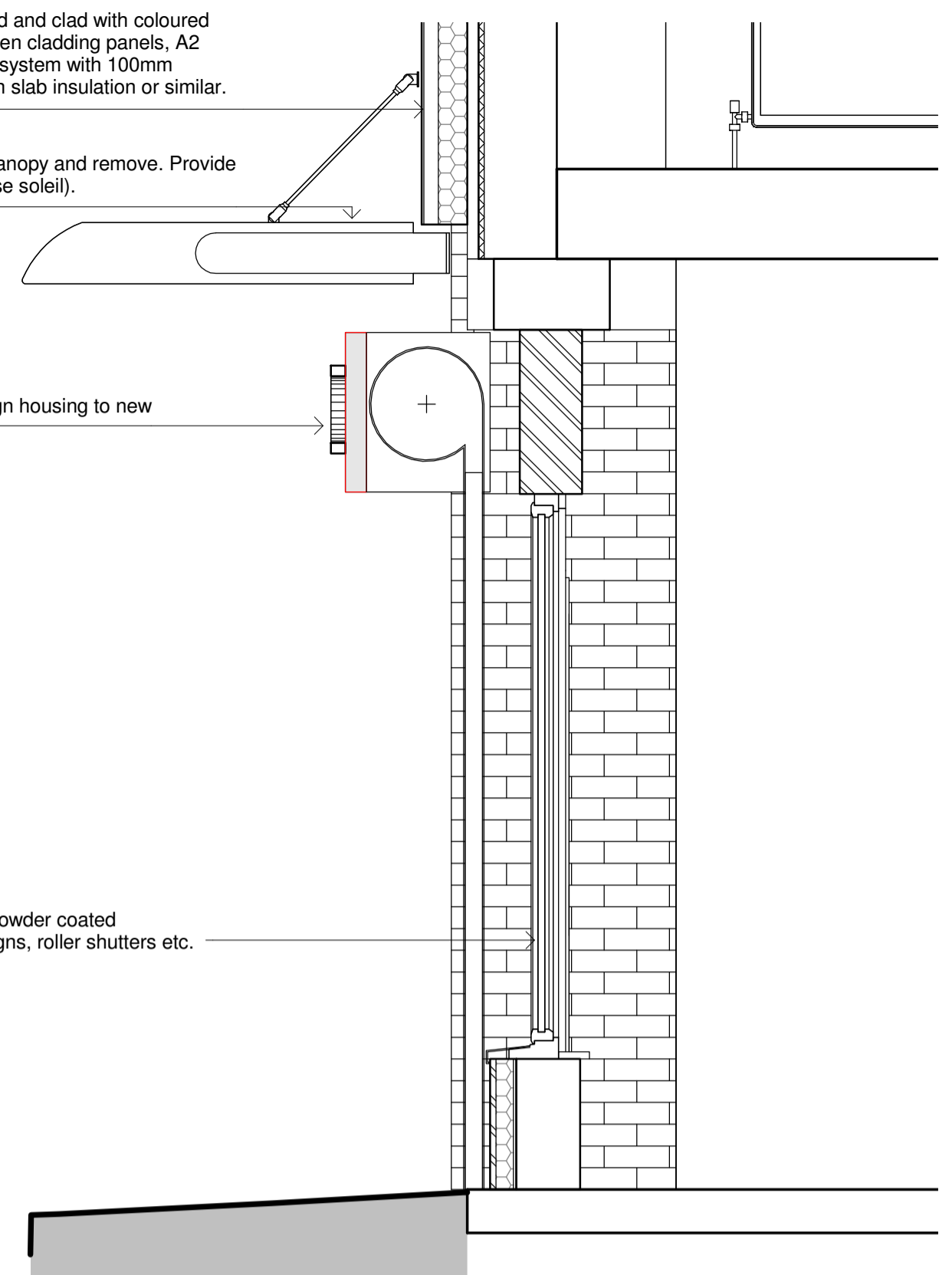
Existing walls to be insulated and clad with coloured effect fibre cement rain screen cladding panels, A2 classification, on carrier rail system with 100mm Knauf Earthwool Rainscreen slab insulation or similar. NBS:H92/111.

Saw cut existing concrete canopy and remove. Provide new lightweight canopy (brise soleil). NBS:25-55-45/130

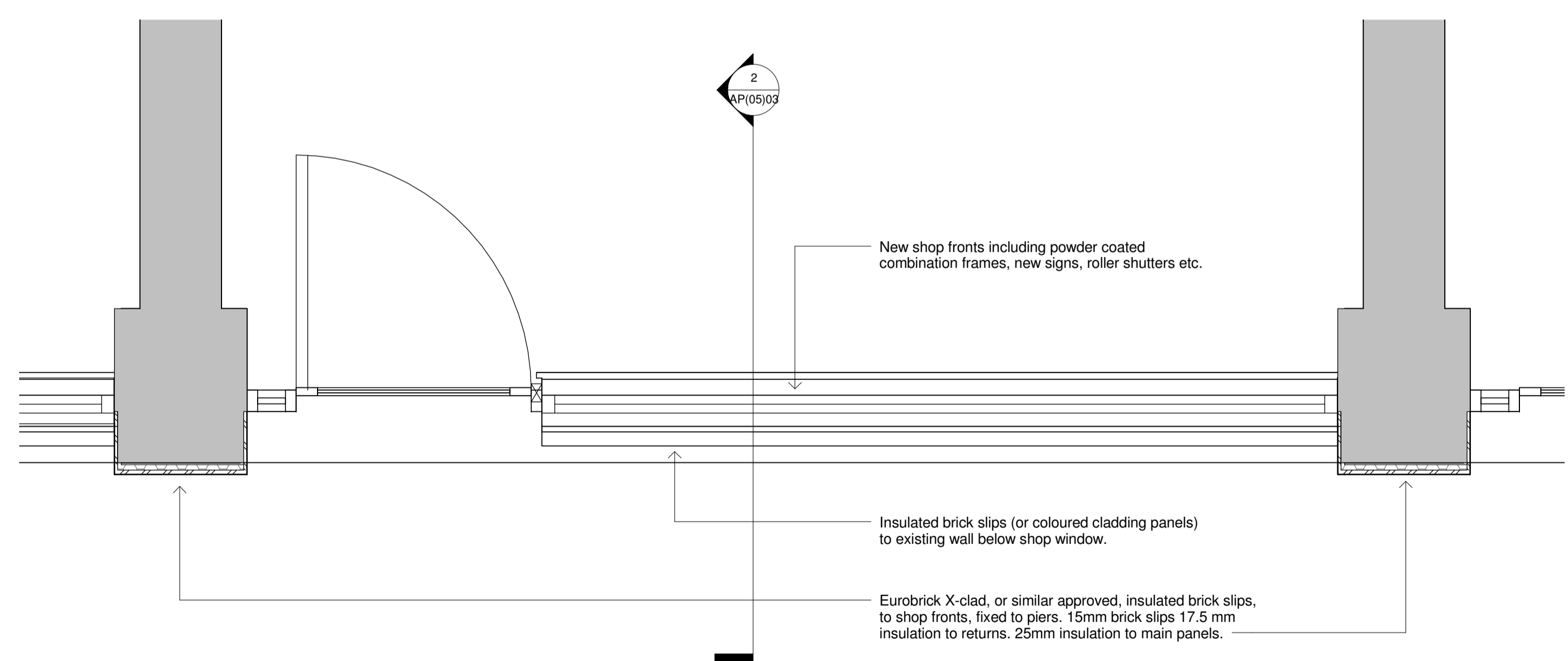
Combined roller shutter / sign housing to new shop fronts.

New shop fronts including powder coated combination frames, new signs, roller shutters etc.

**2 Section 1**  
1 : 20



**3 Proposed Ground Floor Layout**  
1 : 20



New shop fronts including powder coated combination frames, new signs, roller shutters etc.

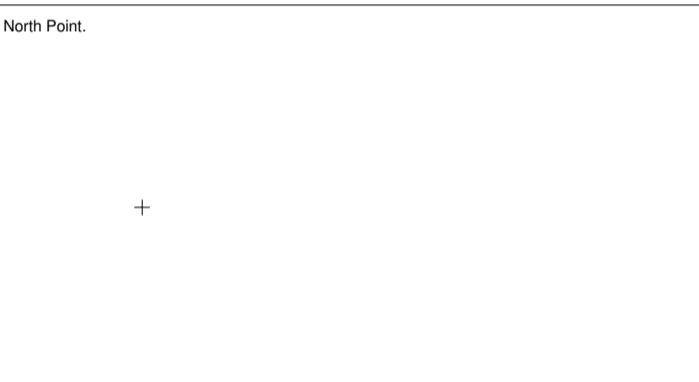
Insulated brick slips (or coloured cladding panels) to existing wall below shop window.

Eurebrick X-clad, or similar approved, insulated brick slips, to shop fronts, fixed to piers. 15mm brick slips 17.5 mm insulation to returns. 25mm insulation to main panels.

**4 shop canopy**



**Note**  
The Contractor will be responsible for setting out the work. All Dimensions must be obtained or checked on the site. Figured dimensions to be used in preference to scale.



Issue	Date	Issue Note	By	Check



Project Title  
**Lion Farm Shops**

Location  
Hartlebury Road, Lion Farm,  
Rowley Regis, West Mids.

Sheet Title  
**Shop Fronts**

Status

Drawn by: pd Date: 01/31/19 Checked by: *[Signature]*

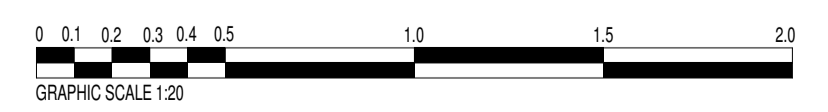
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Zone	Level	Classification	Sheet No.	Subsidiary	Ver	Rev
SH	ZZ	AP(05)	03	S2		

Job No.  
**Q17043**

Contractors Drawing No. (if required)

Urban Design & Building Services  
Sandwell Council House  
Frooth Street,  
Oldbury,  
B69 3DE  
Tel: 0121 569 4541



**Notes**  
 The Contractor will be responsible for setting out the work.  
 All Dimensions must be obtained or checked on the site.  
 Figured dimensions to be used in preference to scale.

North Point.  
 +

Key Plan.

Issue	Date	Issue Note	By	Check




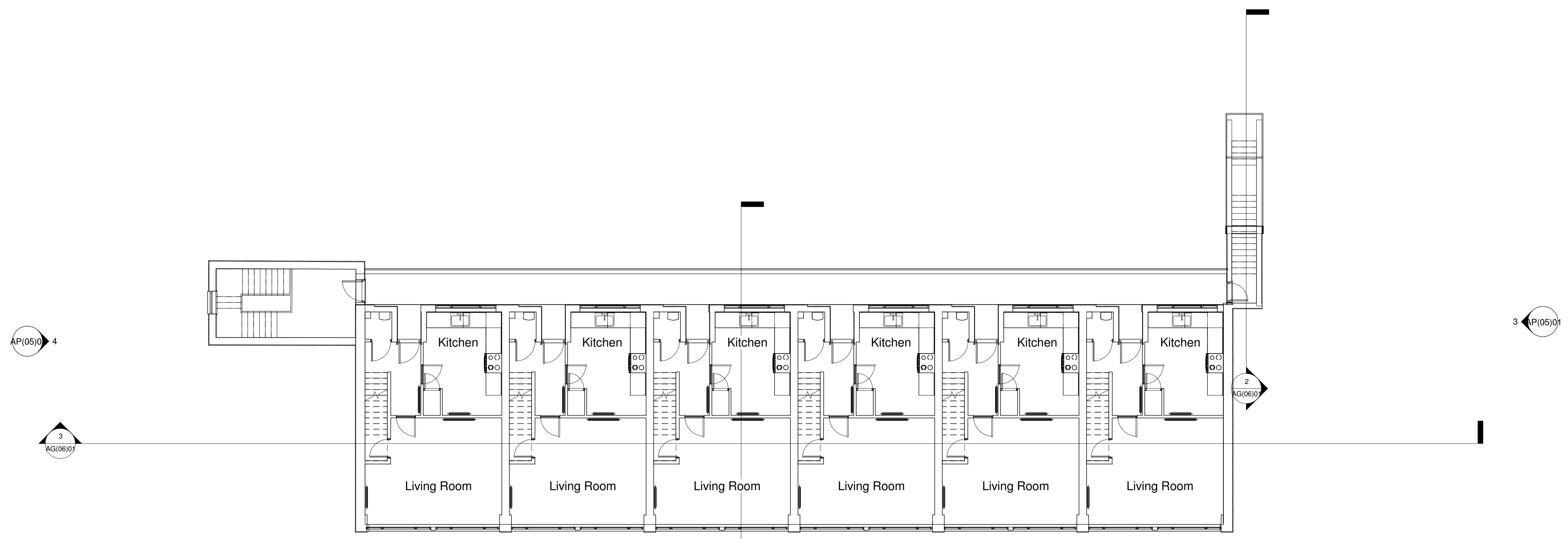
Project Title  
 Lion Farm Shops  
 Location  
 Hartlebury Road, Lion Farm,  
 Rowley Regis, West Mids.  
 Sheet Title  
 Existing Ground & First Floors  
 Status

Drawn by  
 MKS/pd  
 Date  
 12/21/18  
 Scale at A1  
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 Checked by  
 [Signature]  
 Scale at A3

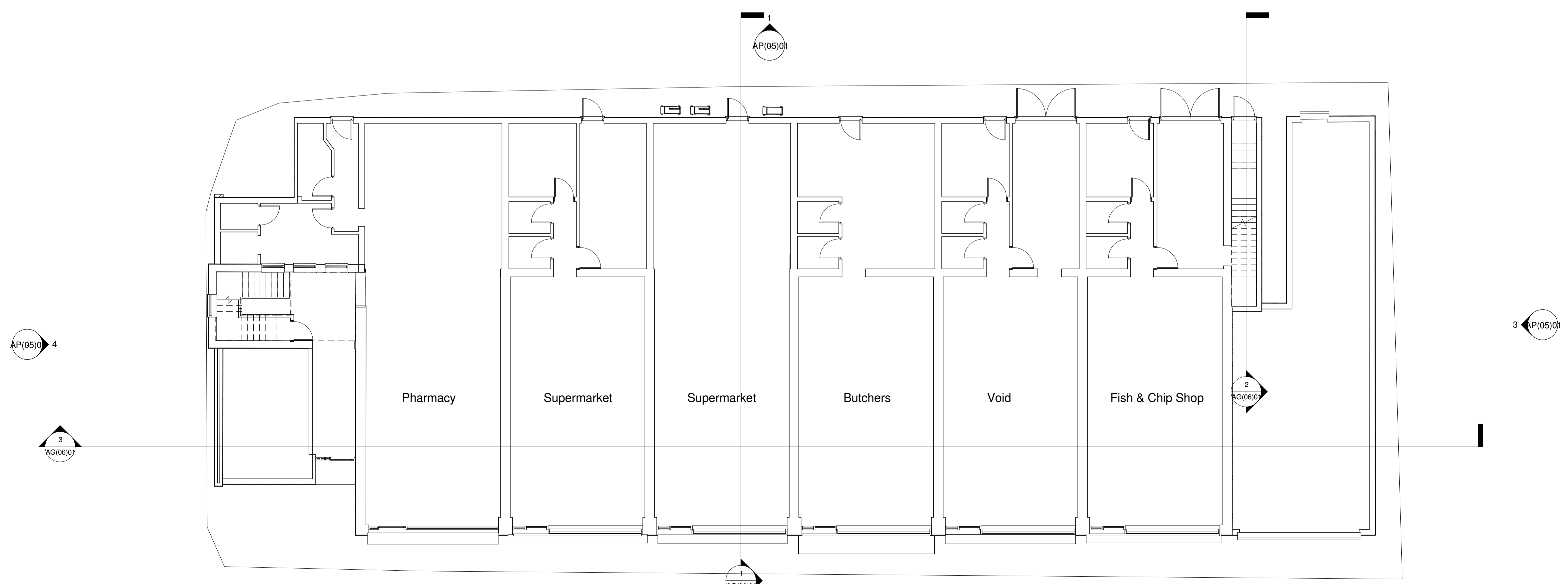
Zone	Level	Classification	Sheet No.	Subsidiary	Ver	Rev
SH	ZZ	AP(04)	01	S2		

Job No.  
 Q17043  
 Contractors Drawing No. (if required)

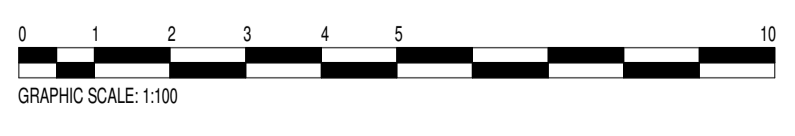
Urban Design & Building Services  
 Sandwell Council House  
 Fresh Street,  
 Oldbury,  
 B69 3DE  
 Tel: 0121 569 4541

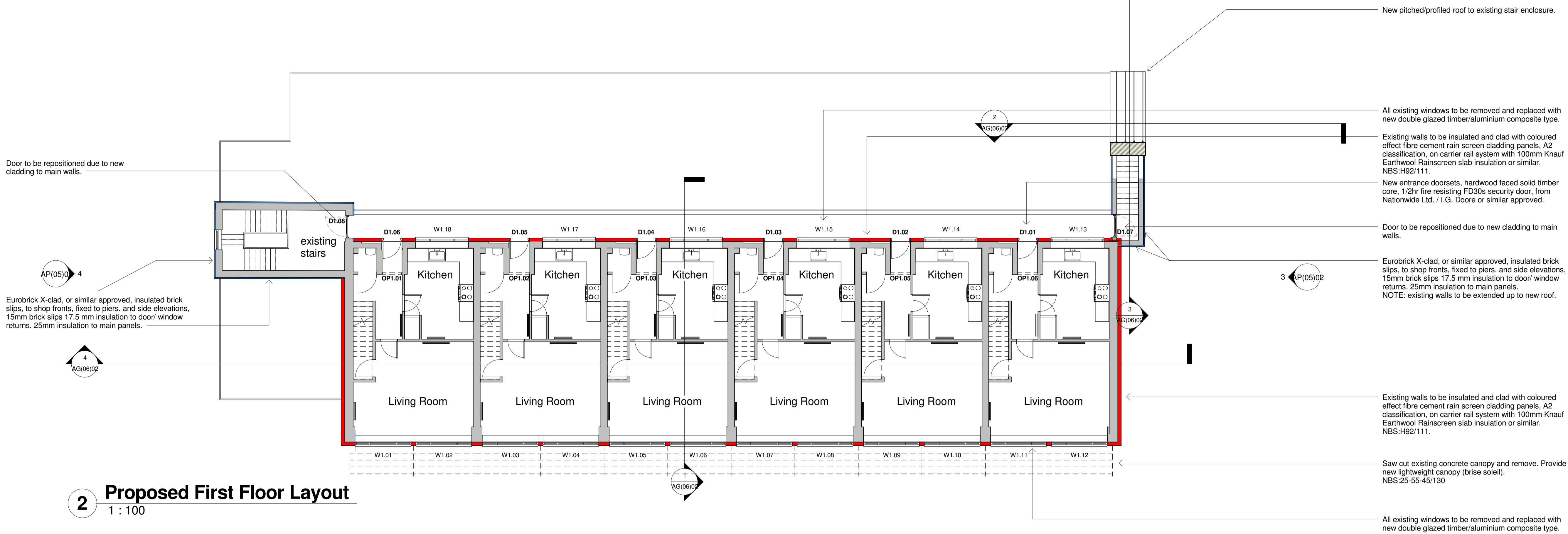
**2 Existing First Floor Layout**  
 1 : 100



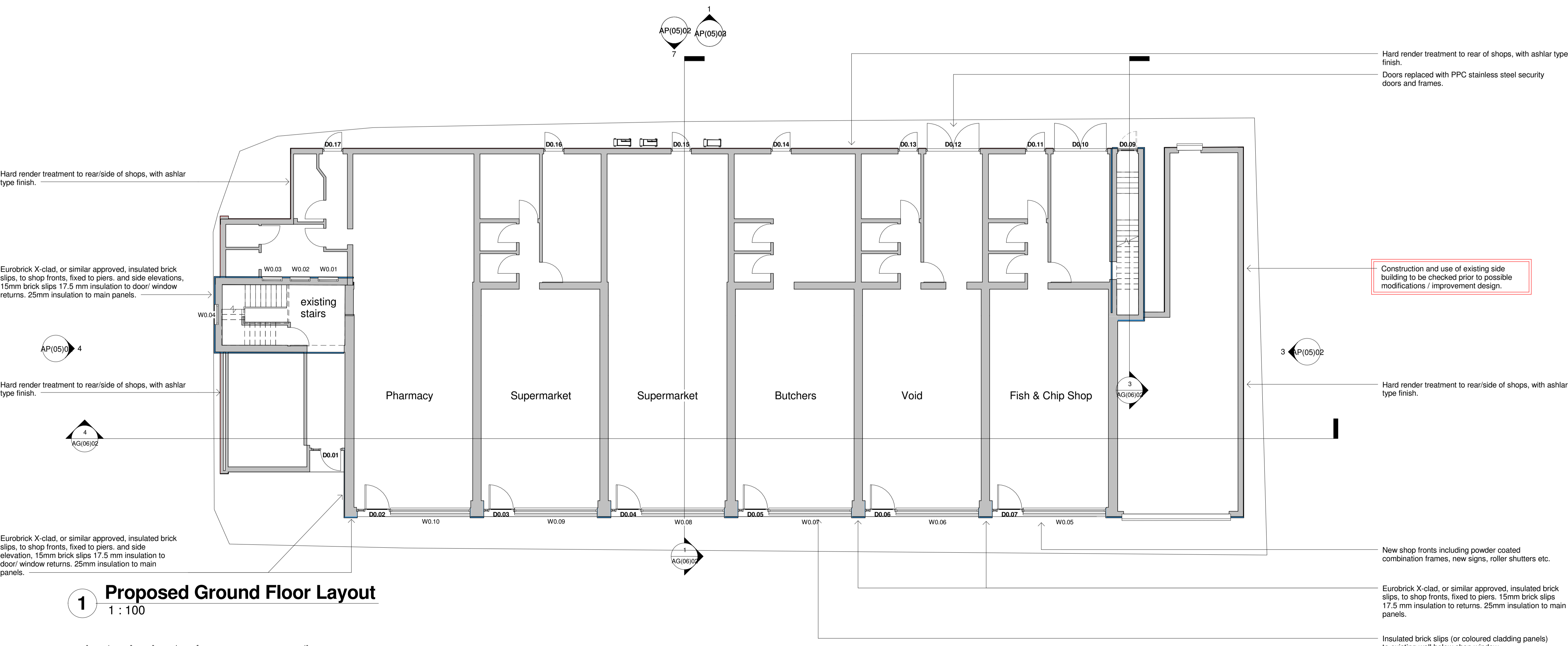
**1 Existing Ground Floor Layout**  
 1 : 100



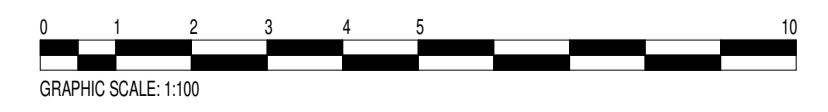
**Note:**  
The Contractor will be responsible for setting out the work. All Dimensions must be obtained or checked on the site. Figured dimensions to be used in preference to scale.



**2 Proposed First Floor Layout**  
1 : 100

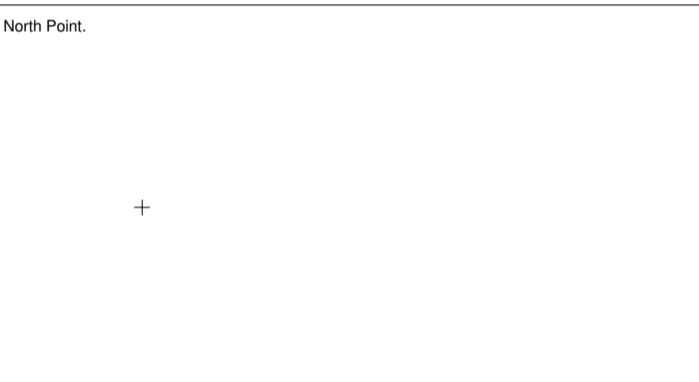


**1 Proposed Ground Floor Layout**  
1 : 100



- New pitched/profiled roof to existing stair enclosure.
- All existing windows to be removed and replaced with new double glazed timber/aluminium composite type.
- Existing walls to be insulated and clad with coloured effect fibre cement rain screen cladding panels, A2 classification, on carrier rail system with 100mm Knauf Earthwool Rainscreen slab insulation or similar. NBS:H92/111.
- New entrance doorsets, hardwood faced solid timber core, 1/2hr fire resisting FD30s security door, from Nationwide Ltd. / I.G. Doore or similar approved.
- Door to be repositioned due to new cladding to main walls.
- Eurobrick X-clad, or similar approved, insulated brick slips, to shop fronts, fixed to piers, and side elevations, 15mm brick slips 17.5 mm insulation to door/ window returns. 25mm insulation to main panels. NOTE: existing walls to be extended up to new roof.
- Existing walls to be insulated and clad with coloured effect fibre cement rain screen cladding panels, A2 classification, on carrier rail system with 100mm Knauf Earthwool Rainscreen slab insulation or similar. NBS:H92/111.
- Saw cut existing concrete canopy and remove. Provide new lightweight canopy (brise soleil). NBS:25-55-45/130
- All existing windows to be removed and replaced with new double glazed timber/aluminium composite type.

- Hard render treatment to rear/side of shops, with ashlar type finish.
- Eurobrick X-clad, or similar approved, insulated brick slips, to shop fronts, fixed to piers, and side elevations, 15mm brick slips 17.5 mm insulation to door/ window returns. 25mm insulation to main panels.
- Hard render treatment to rear/side of shops, with ashlar type finish.
- Eurobrick X-clad, or similar approved, insulated brick slips, to shop fronts, fixed to piers, and side elevation, 15mm brick slips 17.5 mm insulation to door/ window returns. 25mm insulation to main panels.
- Hard render treatment to rear/side of shops, with ashlar type finish.
- New shop fronts including powder coated combination frames, new signs, roller shutters etc.
- Eurobrick X-clad, or similar approved, insulated brick slips, to shop fronts, fixed to piers, 15mm brick slips 17.5 mm insulation to returns. 25mm insulation to main panels.
- Insulated brick slips (or coloured cladding panels) to existing wall below shop window.



Issue	Date	Issue Note	By	Check



Project Title  
**Lion Farm Shops**  
Location  
Hartlebury Road, Lion Farm,  
Rowley Regis, West Mids.  
Sheet Title  
**Proposed Ground & First Floors**  
Status

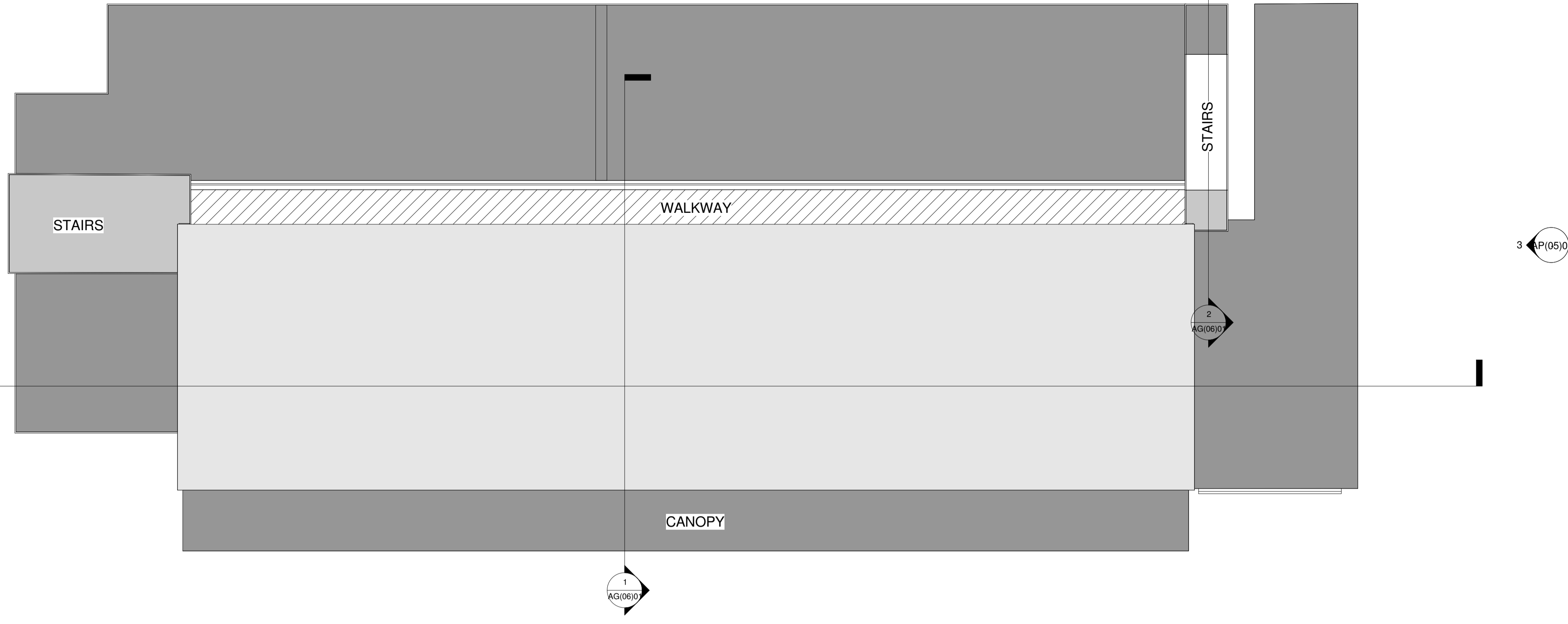
Drawn by pd	Date 01/04/19	Checked by <i>Burton</i>
Scale at A1 1:100	Scale at A3	

Zone	Level	Classification	Sheet No.	Subsity	Ver Rev
SH	ZZ	AP(04)	03	S2	

Job No.  
**Q17043**  
Contractors Drawing No. (if required)

**Urban Design & Building Services**  
Sandwell Council House  
Frooth Street,  
Oldbury,  
B69 3DE  
Tel: 0121 569 4541

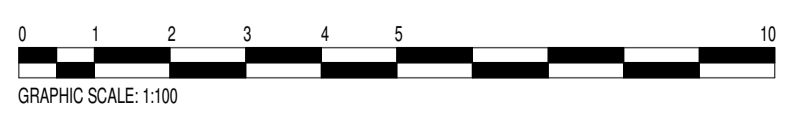
**Notes**  
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Figured dimensions to be used in preference to scale.



**2 Existing Roof Layout**  
1 : 100



**1 Existing Second Floor Layout**  
1 : 100



North Point:  
+

Key Plan:

Issue	Date	Issue Note	By	Check



**Project Title**  
Lion Farm Shops  
**Location**  
Hartlebury Road, Lion Farm,  
Rowley Regis, West Mids.  
**Sheet Title**  
Existing Second & Roof Level  
**Status**

**Drawn by**  
MKS/nd  
**Date**  
12/21/18  
**Checked by**  
*[Signature]*  
**Scale at A1**  
1:100  
**Scale at A3**

Zone	Level	Classification	Sheet No.	Subsidiary	Ver/Rev
SH	00	AP(04)	02	S2	

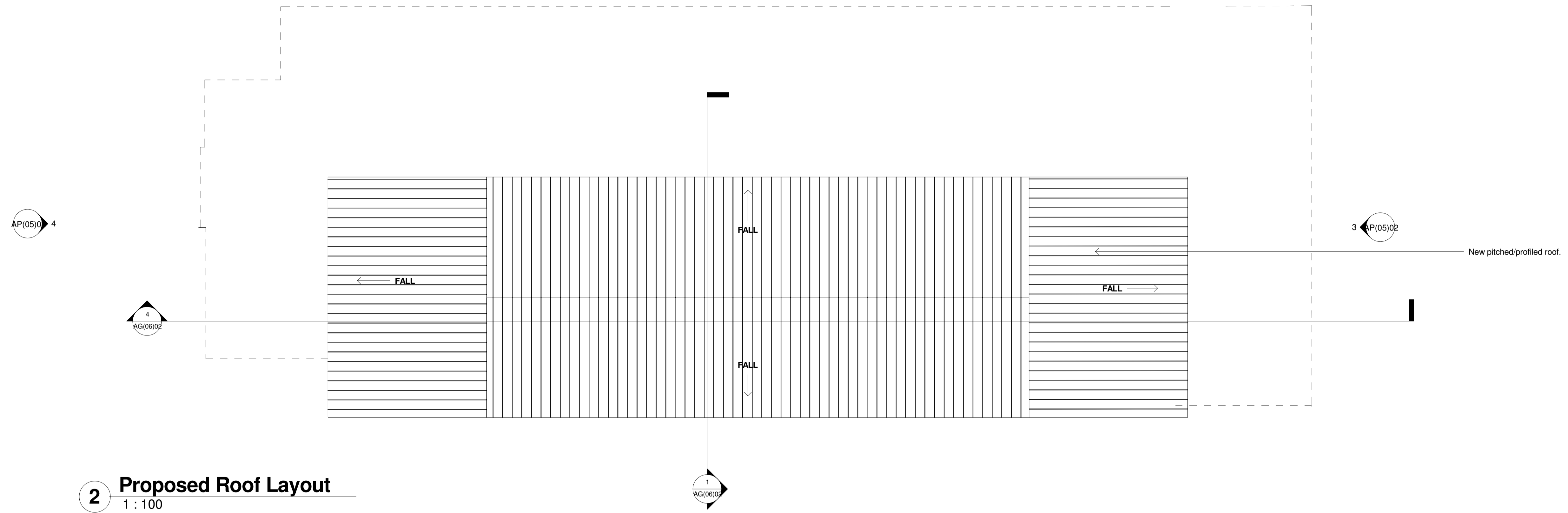
**Job No.**  
Q17043  
**Contractors Drawing No. (if required)**

**Urban Design & Building Services**  
Sandwell Council House  
Frooth Street,  
Oldbury,  
B69 3DE  
Tel: 0121 569 4541

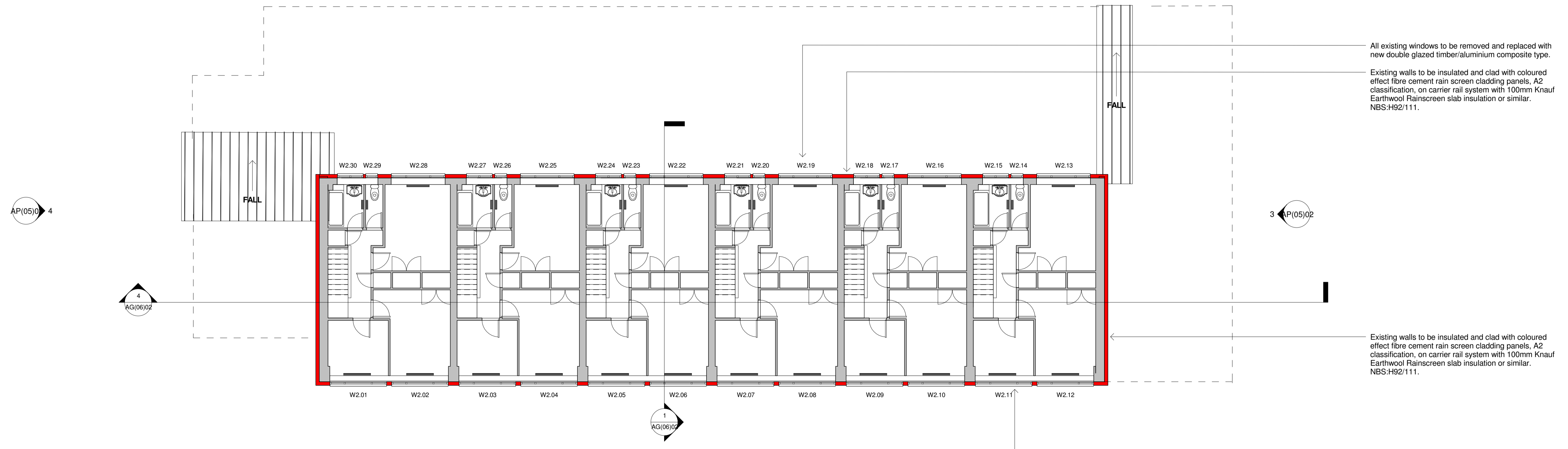




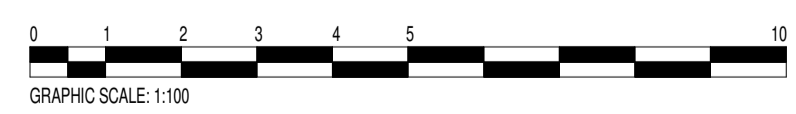
**Notes**  
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 Figured dimensions to be used in preference to scale.



**2 Proposed Roof Layout**  
 1:100



**1 Proposed Second Floor Layout**  
 1:100

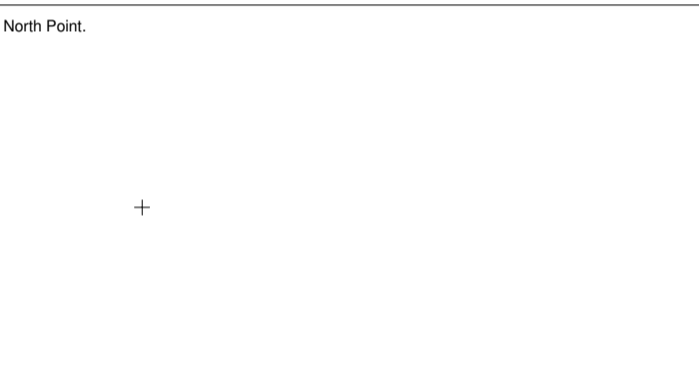


All existing windows to be removed and replaced with new double glazed timber/aluminium composite type.

Existing walls to be insulated and clad with coloured effect fibre cement rain screen cladding panels, A2 classification, on carrier rail system with 100mm Knauf Earthwool Rainscreen slab insulation or similar. NBS:H92/111.

Existing walls to be insulated and clad with coloured effect fibre cement rain screen cladding panels, A2 classification, on carrier rail system with 100mm Knauf Earthwool Rainscreen slab insulation or similar. NBS:H92/111.

All existing windows to be removed and replaced with new double glazed timber/aluminium composite type.



Issue	Date	Issue Note	By	Check



Project Title  
**Lion Farm Shops**  
 Location  
 Hartlebury Road, Lion Farm,  
 Rowley Regis, West Mids.  
 Sheet Title  
**Proposed Second & Roof Level**  
 Status

Drawn by  
 pd  
 Date  
 01/04/19  
 Checked by  
*[Signature]*  
 Scale at A1  
 1:100  
 Scale at A3  
 1:100

Zone	Level	Classification	Sheet No.	Subsidiary	Ver/Rev
SH	ZZ	AP(04)	04	S2	

Job No.  
**Q17043**  
 Contractors Drawing No. (if required)

Urban Design & Building Services  
 Sandwell Council House  
 Fresh Street,  
 Oldbury,  
 B69 3DE  
 Tel: 0121 569 4541